

DISTRICT WAREHOUSE BID

PACKAGE #2

Independence School District

14001 East 32nd Street
Independence, MO 64055

CONSTRUCTION DOCUMENTS



8205 W 108th Terrace
Overland Park, KS 66210
+ 913.451.8886
+ 913.451.0220

220 NW Executive Way
Lee's Summit, MO 64063
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+ 816.525.3028
HOLLISANDMILLER.COM

Hollis + Miller Architects
Missouri State Certificate of Authority
Architectural # 00000101
Professional # 00000101

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Civil Engineers
State Certificate of Authority #
3200 South State Route 291, Bldg 1
Independence, MO 64057
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816.373.4803 fax

Olsson Associates
Mech/Elect Engineers
State Certificate of Authority #
1251 NW Briarcliff Parkway, Ste 50
Kansas City, MO 64116
816.361.1177 phone

hollis + miller architects
relationships @ results

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BID PACKAGE #2 GENERAL SCOPE OF WORK

ALL DEMOLITION, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION ETC. TO BE COMPLETED AS PART OF PACKAGE #2
ALL CIVIL DRAWINGS ARE PROVIDED FOR REFERENCE & COORDINATION ONLY AND WILL BE BID AT A LATER DATE.

ALTERNATES

ALTERNATE #1 OMIT PAINTING AT ALL WALLS / CEILINGS AT FOOD STORAGE 1, FOOD STORAGE 2, STORAGE BAY 1, STORAGE BAY 2 AND STORAGE BAY 3 AS NOTED ON ROOM FINISH SCHEDULE ON SHEET A002.
BASE BID: PROVIDE ALL FINISHES AS NOTED ON THE FLOOR FINISH SCHEDULE.

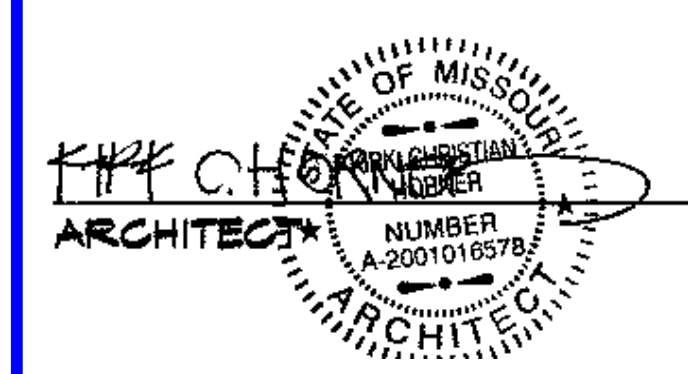
ALTERNATE #2 PAINT BUILDING EXTERIOR - ALL SURFACES (EIFS, METAL PANELS, CMU ETC. ALL NEW PREFINISHED METAL GUTTERS AND DOWNSPOUTS ARE NOT TO BE PAINTED AND SHALL REMAIN / PROTECT.
BASE BID: EXISTING EXTERIOR SURFACES ARE TO REMAIN AS THEY ARE WITH NO PAINTING.

STATEMENT OF RESPONSIBILITY

I HEREBY STATE THAT THE DRAWINGS INTENDED TO BE AUTHENTICATED BY MY SEAL ARE LIMITED TO THE FOLLOWING DRAWING SHEETS:

G000, G001, D101, D102, A001, A002, A003, A101, A102, A110, A120, A210, A400, A600

I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS, ESTIMATES, REPORTS AND OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE ARCHITECTURAL OR ENGINEERING PROJECT OR SURVEY.



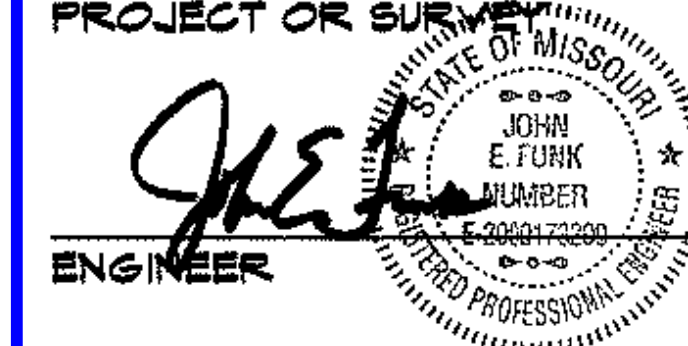
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STATEMENT OF RESPONSIBILITY

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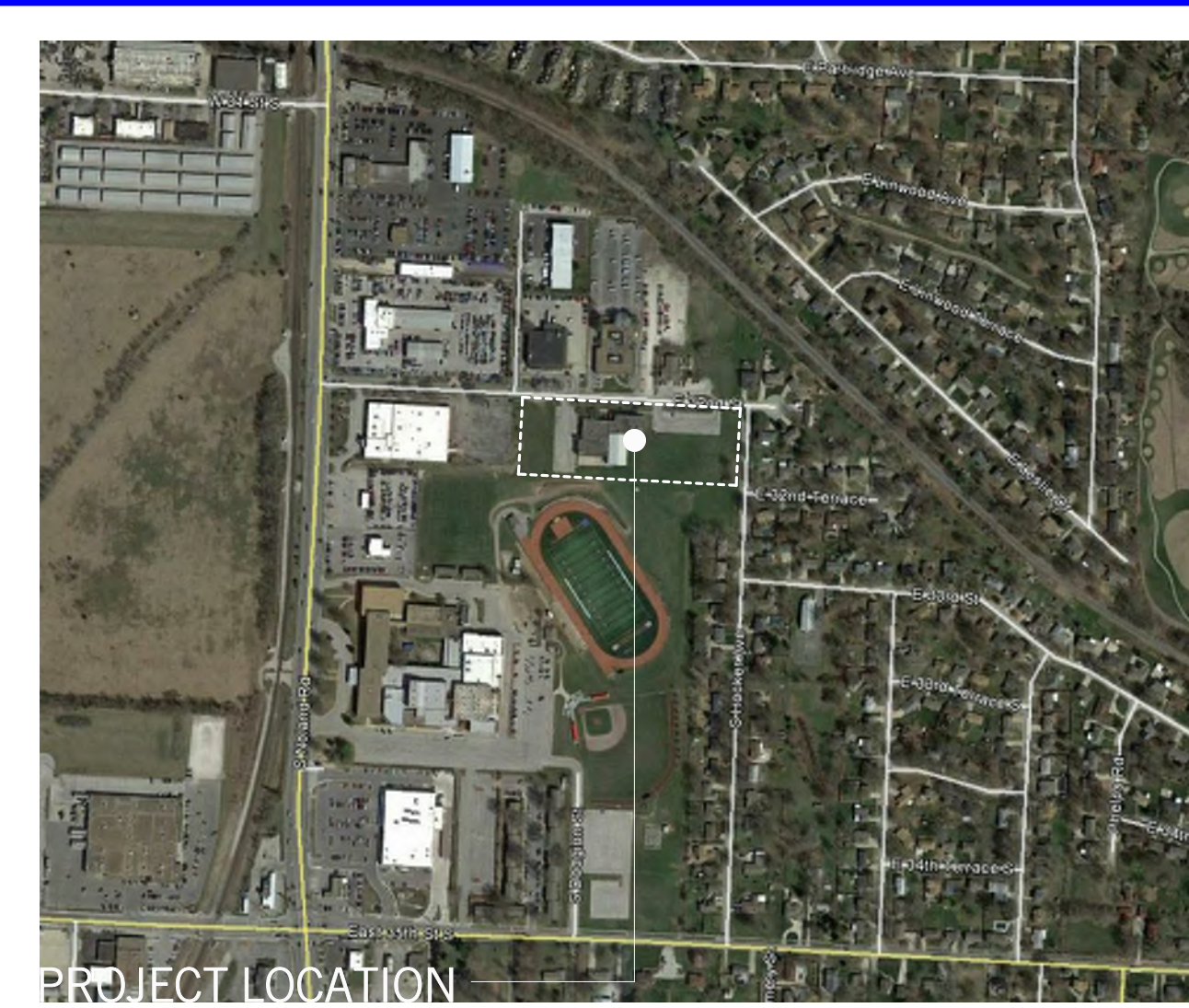
S000, S001, S110

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2/4/16 DATE

VICINITY MAP



DESIGN TEAM

ARCHITECTURAL DESIGN:
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220 NW Executive Way
Lee's Summit, MO 64063
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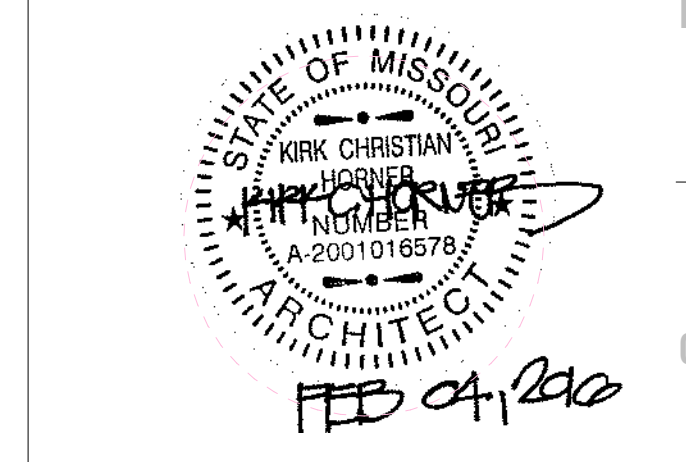
STRUCTURAL ENGINEERS:
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220 NW Executive Way
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Kansas City, MO 64116
CONTACT: Nick Lynch
PHONE: (816) 361-1177

District Warehouse Phase #2
Independence School District
14001 East 32nd Street
Independence, MO 64055

100% Construction Documents

#	Description	Date

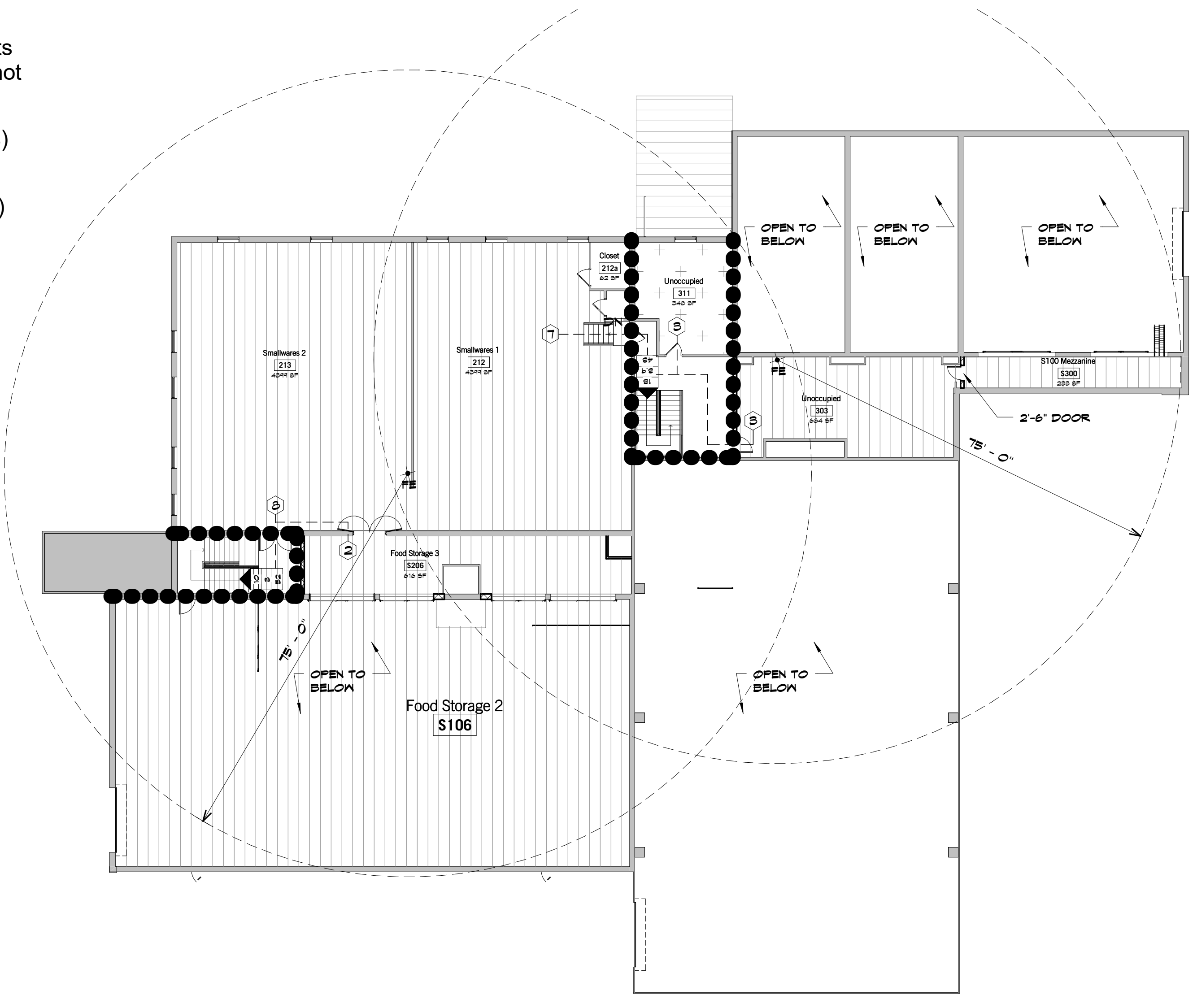


JOB NO: 15078
DRAWN BY: GT
CHECKED BY: JD
DATE: 01.27.2016

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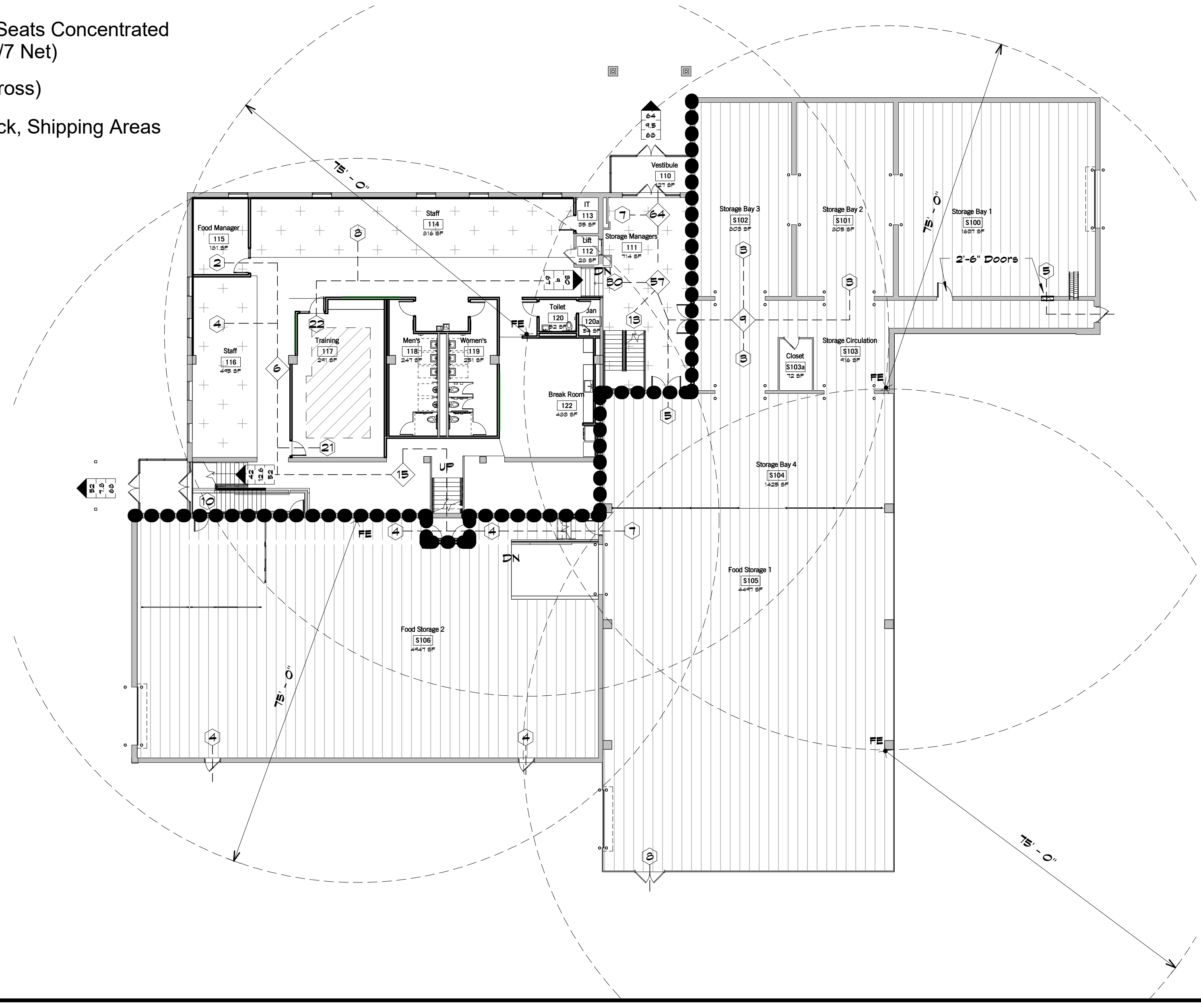
COVER SHEET

- Assembly Without Fixed Seats Concentrated (chairs only - not fixed, 1/7 Net)
- Business Areas (1/100 Gross)
- Mercantile - Storage, Stock, Shipping Areas (1/300 Gross)



J6 Scale 1/16" = 1'-0" Floor Plan - Level 2 - Code Plan

- Assembly Without Fixed Seats Concentrated (chairs only - not fixed, 1/7 Net)
- Business Areas (1/100 Gross)
- Mercantile - Storage, Stock, Shipping Areas (1/300 Gross)



A6 Scale 1/16" = 1'-0" Floor Plan - Basement Level - Code plan

PROJECT INFORMATION

TYPE OF CONSTRUCTION
 OWNER INDEPENDENCE SCHOOL DISTRICT
 OWNER ADDRESS 201 North Forest Avenue
 Independence, MO 64280
 Phone: (816) 521-5580 Fax: (816) 521-5627
 FIRE DEPARTMENT Cindy Gulp, Fire Inspector (816) 525-7187
 ANTICIPATED OCCUPANCY

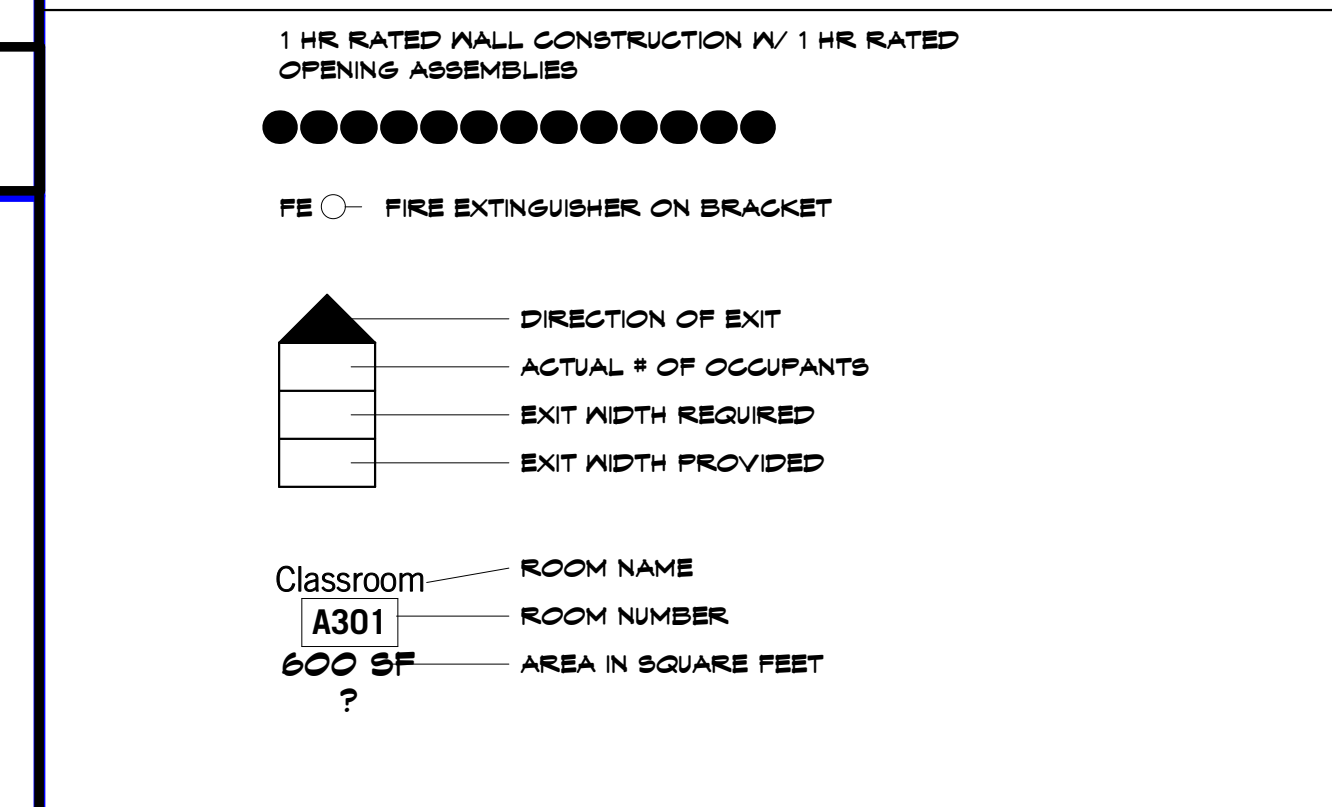
PROJECT CODES

THE FOLLOWING CODES WERE USED FOR THIS PROJECT:
 2012 "IBC" INTERNATIONAL BUILDING CODE
 2012 "IMC" INTERNATIONAL MECHANICAL CODE
 2012 "IFC" INTERNATIONAL FIRE CODE
 2011 "NEC" NATIONAL ELECTRICAL CODE
 2010 "ADA" AMERICANS WITH DISABILITIES ACT
 2012 "NFPA" NFPA 101 LIFE SAFETY - AS ADOPTED BY CODE AUTHORITY
 2012 "IFC" INTERNATIONAL FIRE CODE
 "IEBC" INTERNATIONAL EXISTING BUILDING CODE

PROJECT CODE INFORMATION

OCCUPANCY TYPE	S-2
TYPE OF CONSTRUCTION	III-B
ALLOWABLE BUILDING AREA	26,000
ALLOWABLE AREA INCREASES	
SEPARATION	1 HR BETWEEN S-2 AND B
FIRE SPRINKLER	FULLY SPRINKLERED
TOTAL ALLOWABLE AREA INCREASES	No Need ACTUAL AREA 21,915
ALLOWABLE HEIGHT (# OF STORIES)	55 FT (5) ACTUAL 26 FT (2)
MIXED USE - AREA SEPARATION	1 HR
OCCUPANCY LOAD	181
NUMBER OF REQUIRED EXITS	2
PLUMBING REQUIREMENTS	
WATER CLOSETS	1 MEN 2 WOMEN
LAVATORIES	2 MEN 2 WOMEN
URINALS	1 MEN
JANITORS CLOSETS	1
DRINKING FOUNTAINS (ADA COMPLIANT)	1
EXTERIOR BEARING WALLS	
EXTERIOR NON-BEARING WALLS	0 HOUR
INTERIOR BEARING WALLS	0 HOUR
BUILDING SEPARATION	1 HOUR
CORRIDOR WALLS	0 HOUR
PERMANENT PARTITIONS	0 HOUR
STRUCTURAL FRAME	0 HOUR
SHAFT WALLS	0 HOUR
FLOOR-CEILING/FLOOR	0 HOUR
ROOF-CEILING/FLOOR	0 HOUR
EXTERIOR OPENINGS	0 HOUR

CODE LEGEND



GENERAL INFORMATION

hollis + miller architects
 relationships & results

8205 W 108th Terrace
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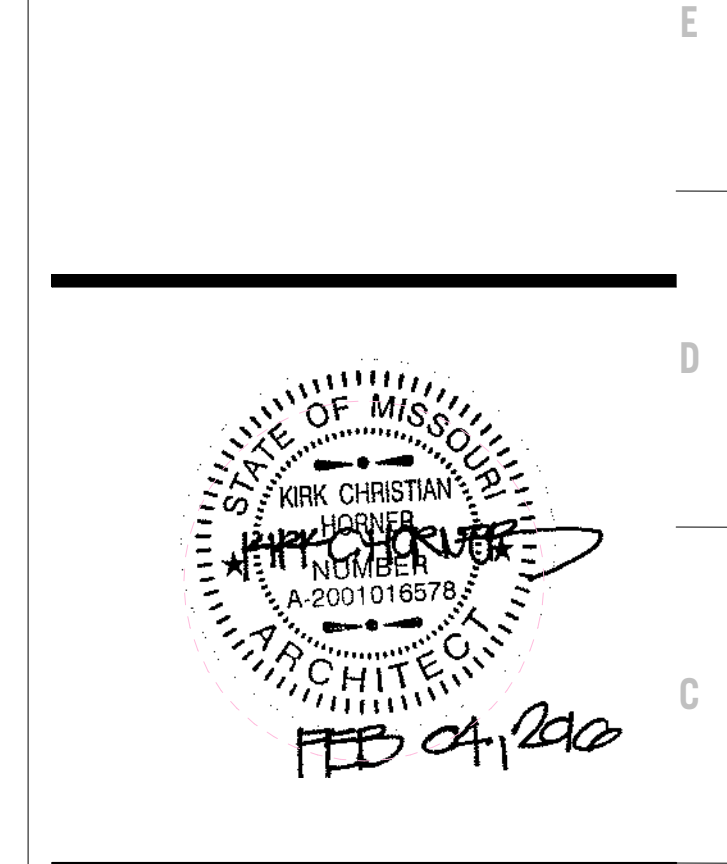
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 816.361.1177 phone

100% Construction Documents

District Warehouse Phase #2
 Independence School District
 14001 East 32nd Street
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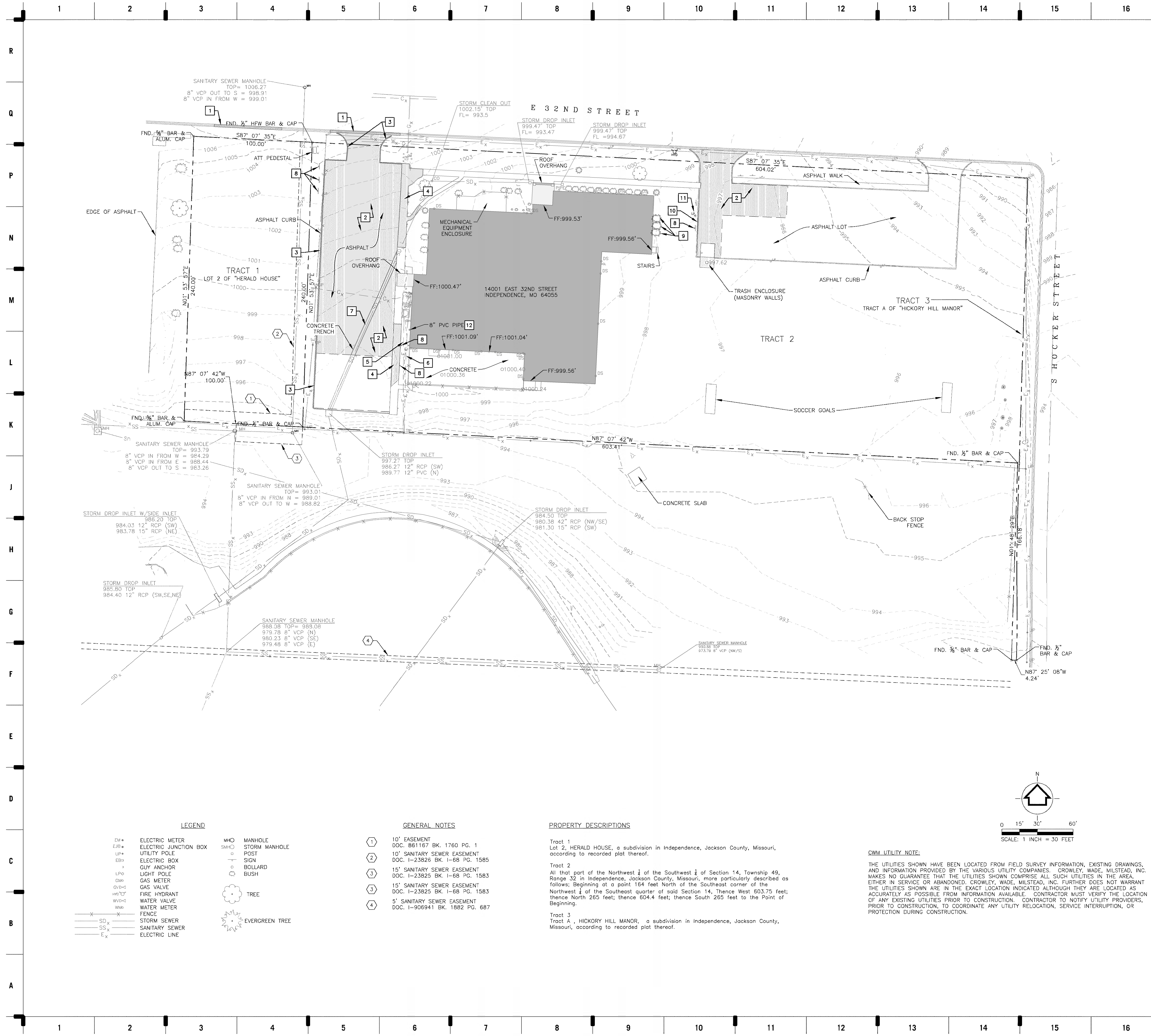
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#	Description	Date



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 CHECKED BY: JD
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SHEET KEYNOTE LEGEND

- [X] DEMOLITION KEY NOTES**
1. REMOVE EXISTING CONCRETE CURB AND GUTTER
 2. FULL DEPTH ASPHALT PAVEMENT REMOVAL
 3. REMOVE ASPHALT CURB
 4. REMOVE CONCRETE SIDEWALK
 5. RELOCATE BURIED ELECTRIC LINE AS REQUIRED TO ACCOMMODATE NEW DOCK
 6. RELOCATE BURIED COMMUNICATION LINE AS REQUIRED TO ACCOMMODATE NEW DOCK
 7. REMOVE CONCRETE
 8. REMOVE SIGN
 9. REMOVE BUSH
 10. REMOVE ASPHALT CURB AS REQUIRED TO ACCOMMODATE NEW DRIVE
 11. RELOCATE LIGHT POLE AS REQUIRED TO ACCOMMODATE NEW DRIVE
 12. REMOVE/RELOCATE 8" PVC ALONG SIDE OF BUILDING AS REQUIRED TO ACCOMMODATE NEW DOCK (COORDINATE WITH ARCH/MEP).

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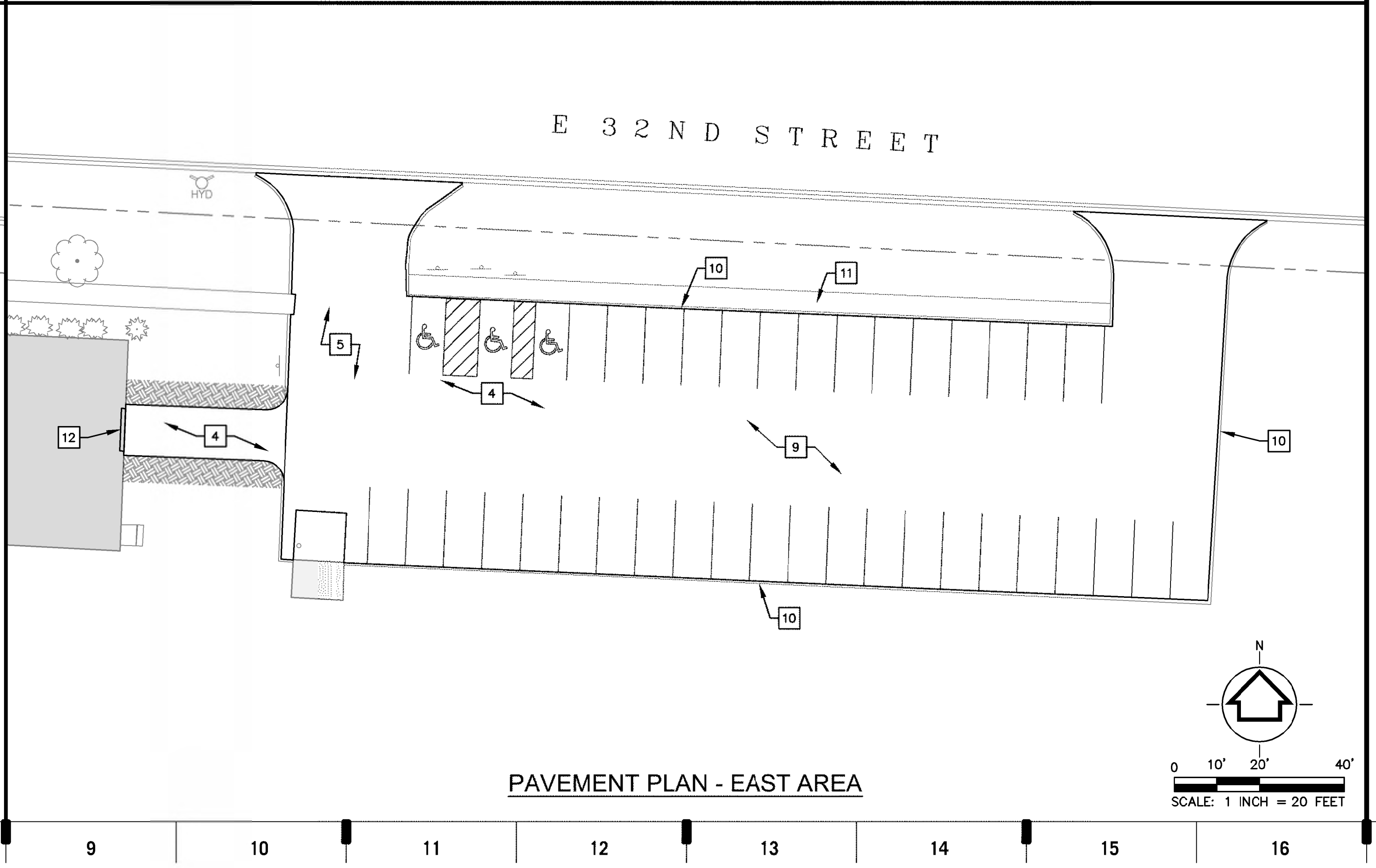
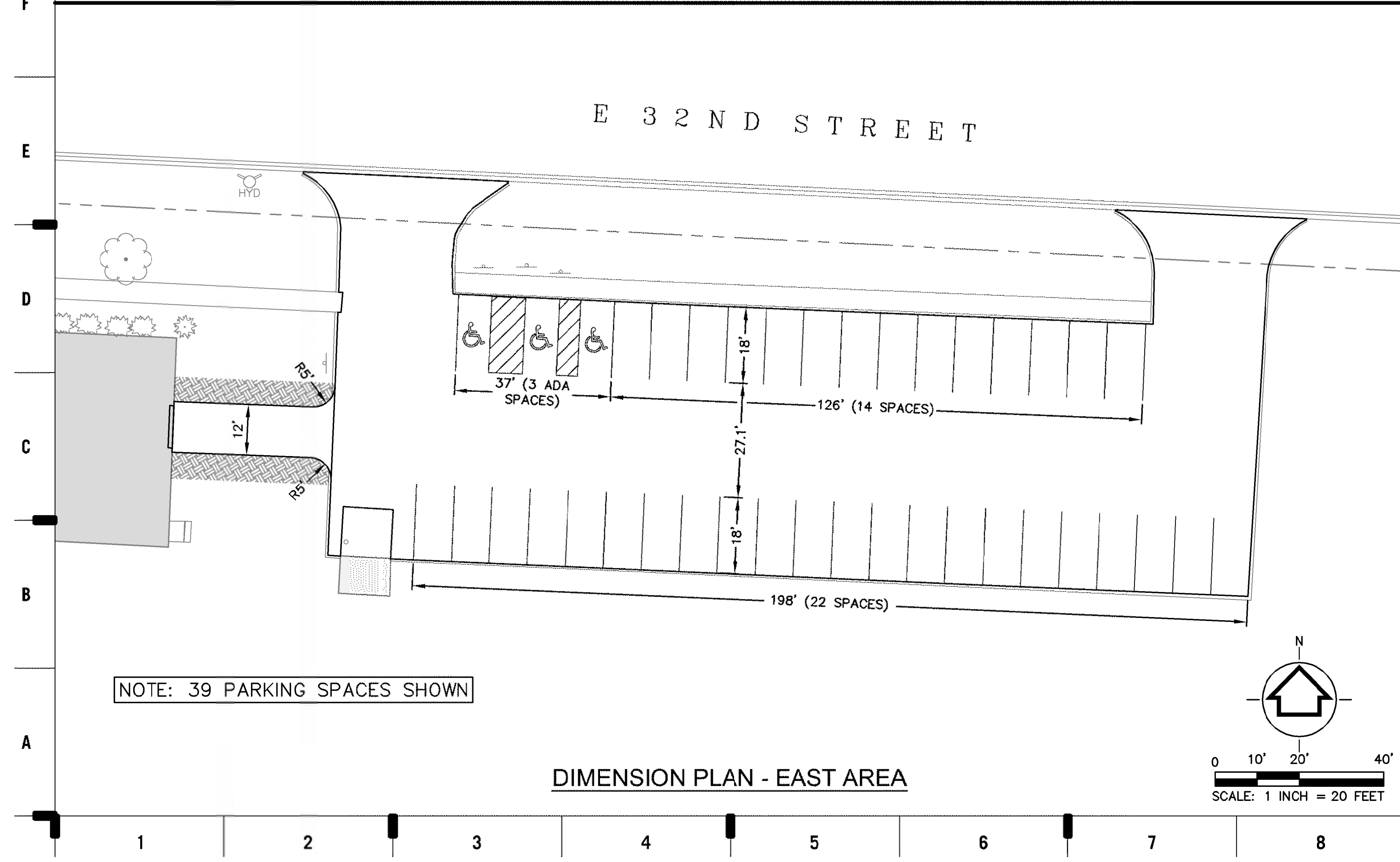
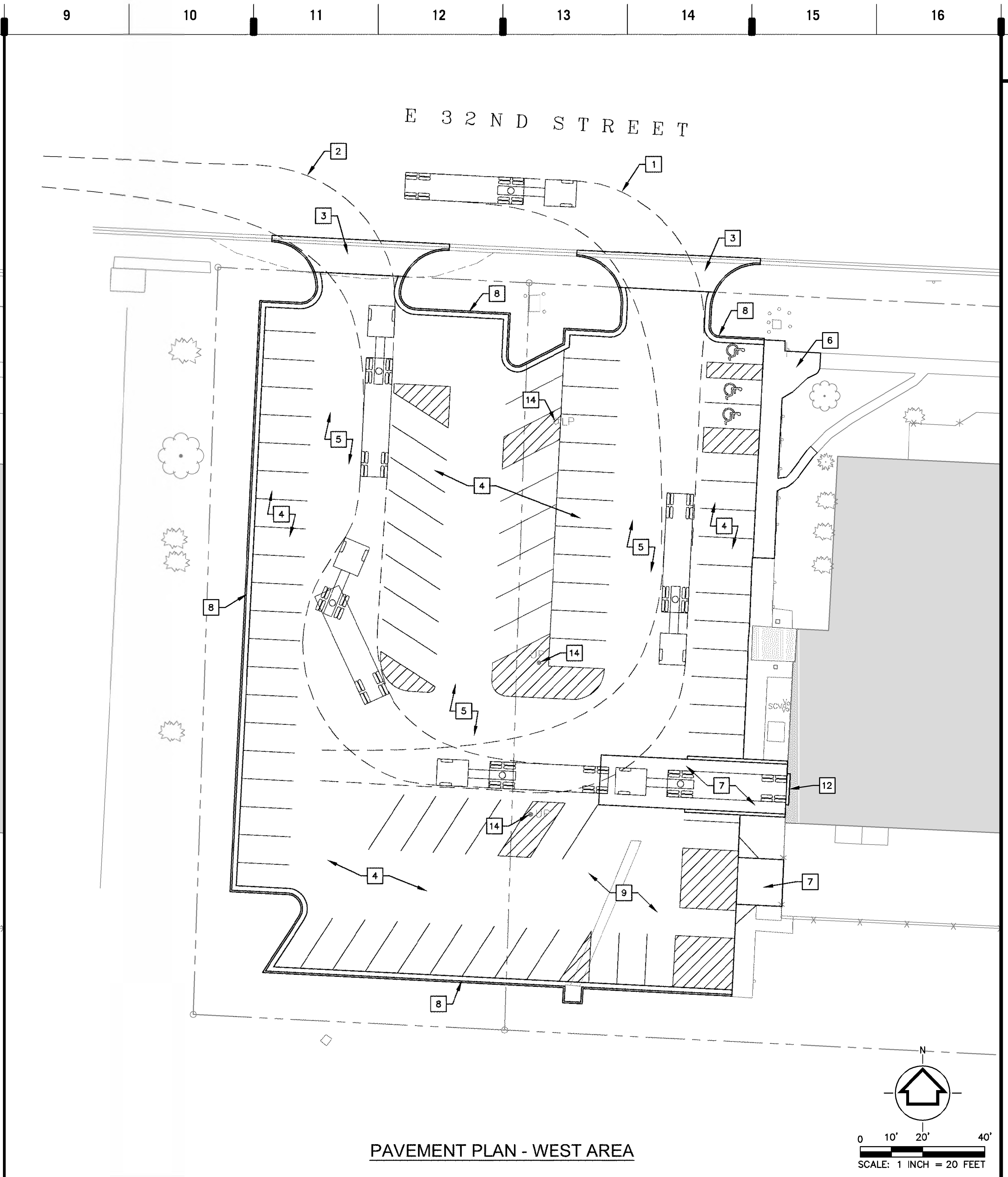
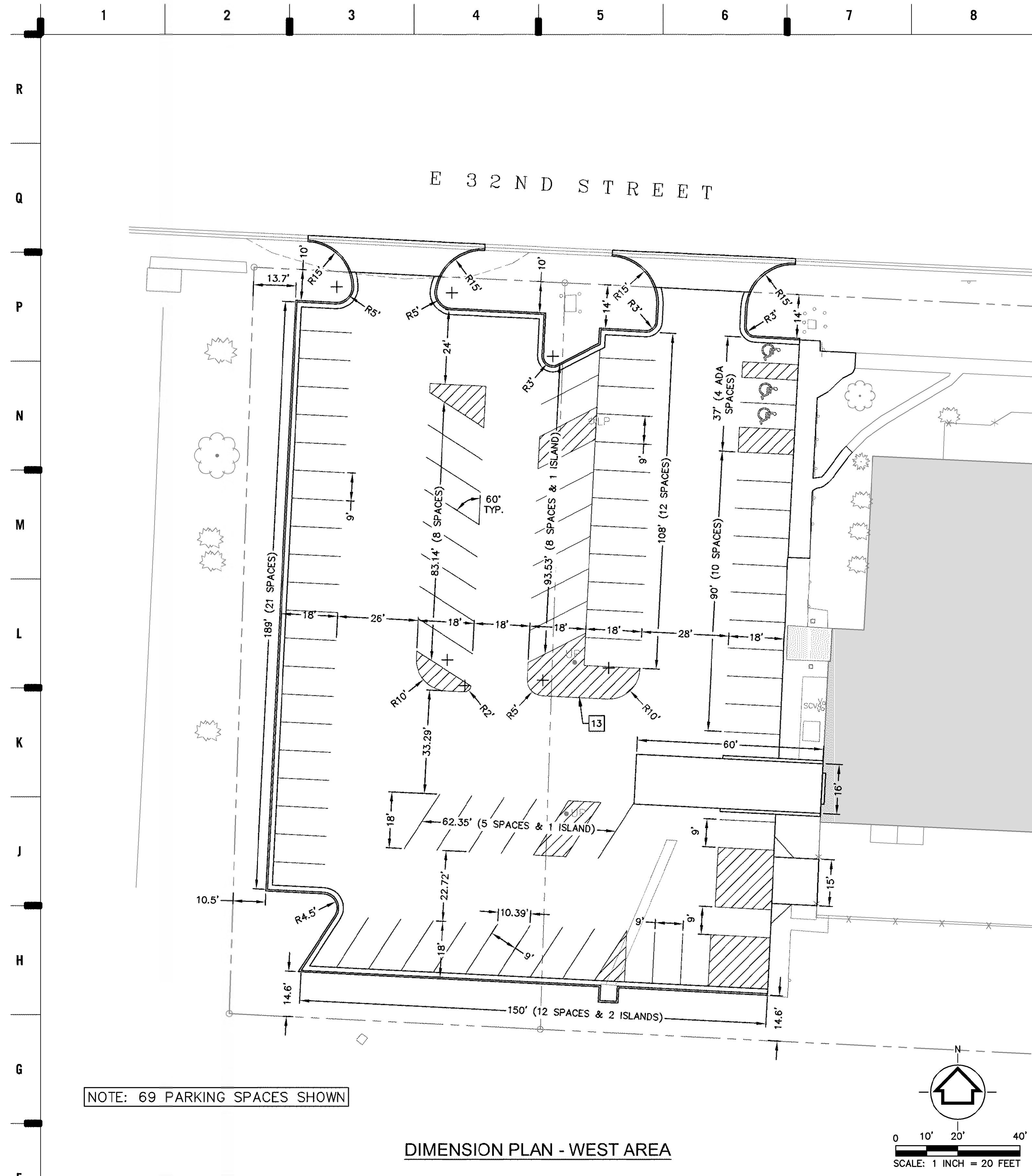
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- SHEET KEYNOTE LEGEND**
- KEY NOTES
1. SEMI-TRACTOR ENTRANCE MOVEMENT
 2. SEMI-TRACTOR EXIT MOVEMENT
 3. CONCRETE ENTRANCE: 8" WITH 6"x6"-6x6 WWF
 4. STANDARD DUTY ASPHALT PAVEMENT (RE: GEOTECHNICAL REPORT)
 5. HEAVY DUTY ASPHALT PAVEMENT (RE: GEOTECHNICAL REPORT)
 6. CONCRETE SIDEWALK (MATCH EXISTING WIDTH)
 7. CONCRETE PAVEMENT
 8. CONCRETE CURB AND GUTTER
 9. MILL AND OVERLAY EXISTING ASPHALT PAVEMENT
 10. REPAIR ASPHALT CURB AS NECESSARY
 11. REPAIR ASPHALT WALK AS NECESSARY
 12. NEW DOOR LOCATION (RE: ARCH. PLANS)
 13. STRIPED ISLAND, TYPICAL
 14. DO NOT DISTURB EXISTING LIGHT/UTILITY POLE

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Architectural # 200001103

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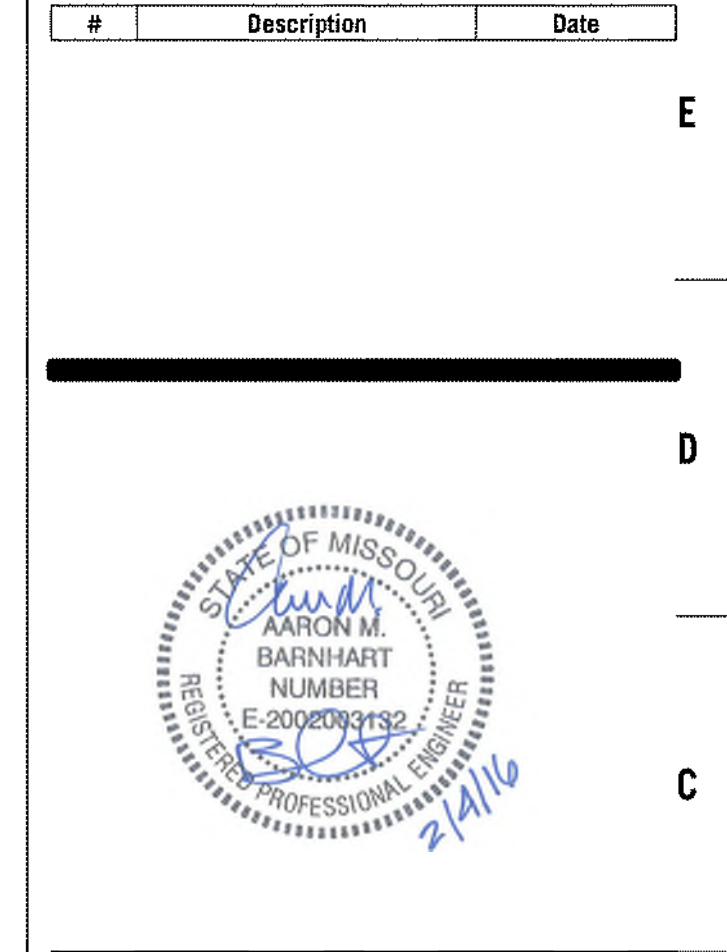
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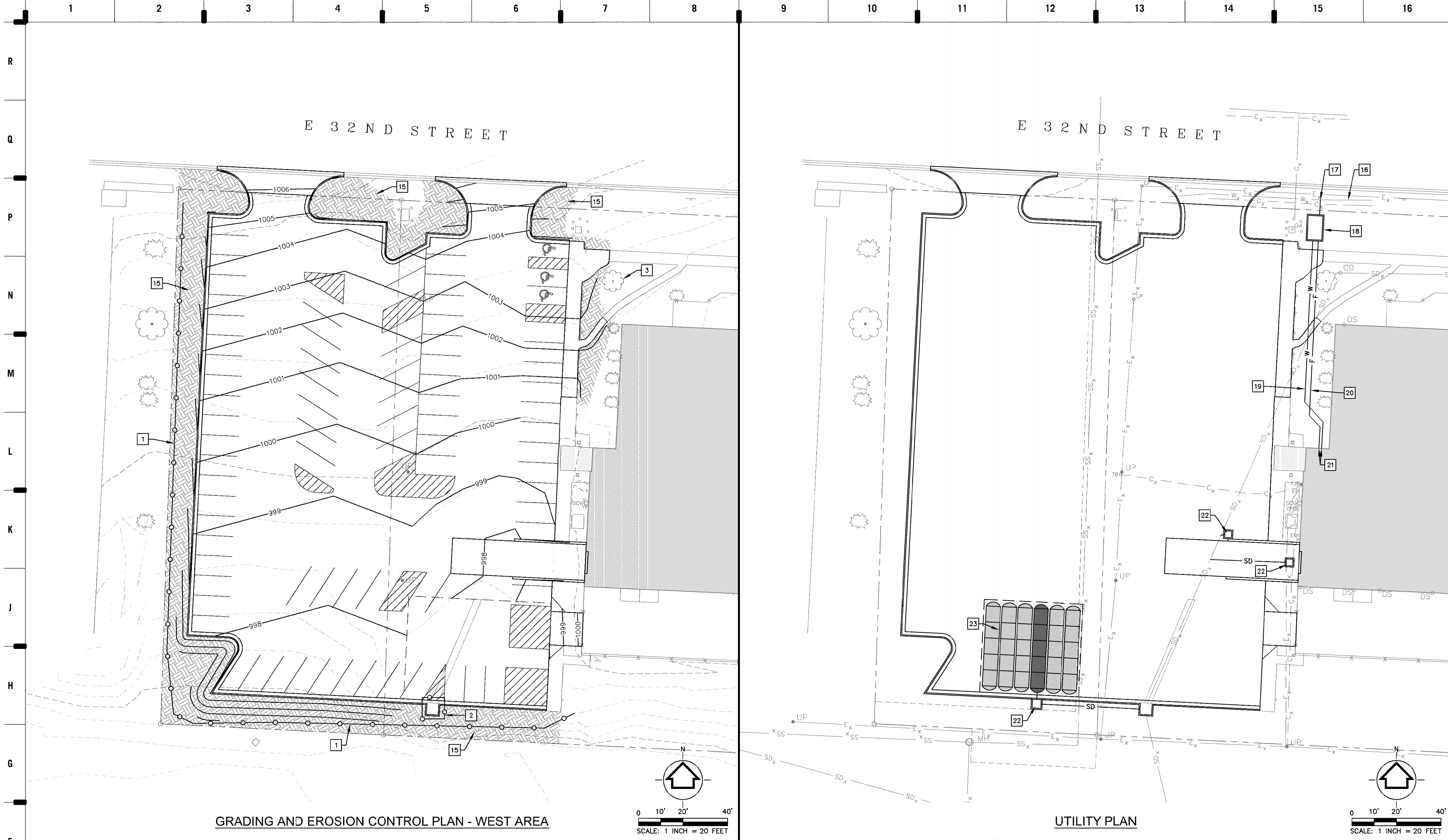
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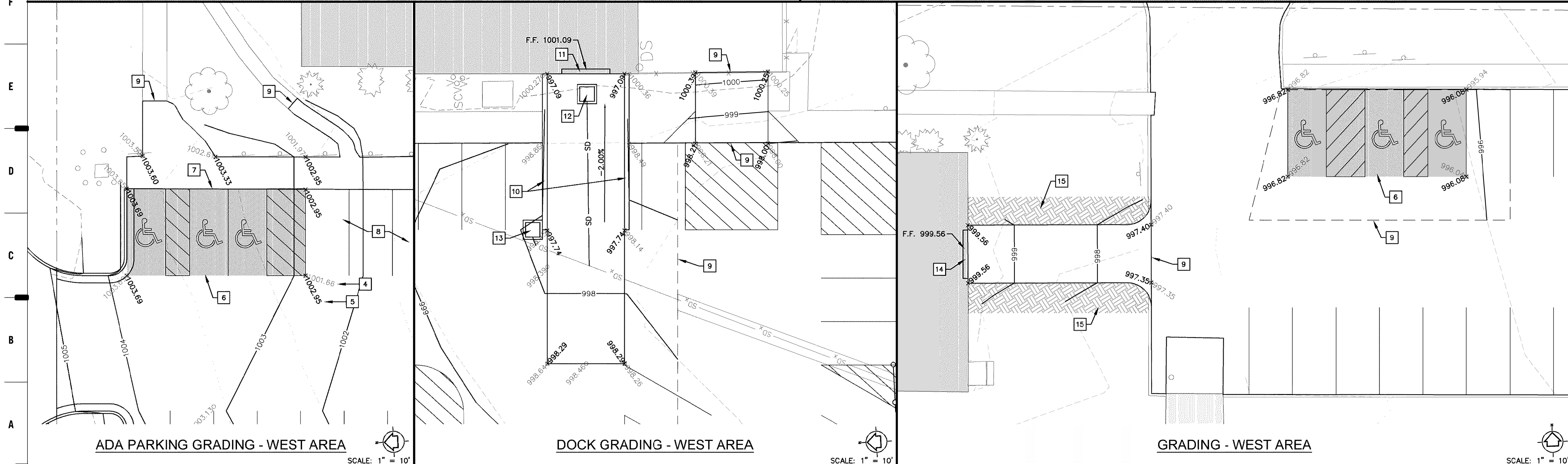


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DATE: JANUARY 27, 2016



GRADING AND EROSION CONTROL PLAN - WEST AREA

UTILITY PLAN



ADA PARKING GRADING - WEST AREA

DOCK GRADING - WEST AREA

GRADING - WEST AREA

SHEET KEYNOTE LEGEND

KEY NOTES

1. PERIMETER SILT FENCE
2. INLET PROTECTION
3. PROTECT TREE
4. EXISTING ELEVATION, TYPICAL
5. PROPOSED ELEVATION, TYPICAL
6. 2% MAXIMUM SLOPE IN ADA PARKING SPACES AND AISLES (SHADED AREA)
7. SIDEWALK IS LEVEL WITH ADJACENT ADA PARKING SPACES
8. 8% MAXIMUM ALLOWABLE SLOPE IN PARKING LOT
9. MATCH EXISTING GRADE
10. DOCK WALL (RE: STRUCTURAL)
11. DOCK DOOR, BUMPERS, AND ALL APPURTENANCES RE: ARCH PLANS
12. GRATED INLET (TOP = 997.00)
13. GRATED INLET (TOP = 997.74)
14. DOOR (RE: ARCH. PLANS)
15. SOD DISTURBED AREAS
16. EXISTING 8" WATER LINE
17. FINAL CONNECTION BY WATER DEPARTMENT (COORDINATE SIZE WITH MEP PLANS)
18. NEW METER VAULT FOR SPLIT SERVICES
19. DOMESTIC WATER SERVICE (SIZE RE: MEP PLANS)
20. FIRE PROTECTION LINE (SIZE RE: MEP PLANS)
21. WATER SERVICE ENTRANCE LOCATION (COORDINATE WITH MEP PLANS)
22. NEW STORM INLET
23. UNDERGROUND STORM WATER DETENTION

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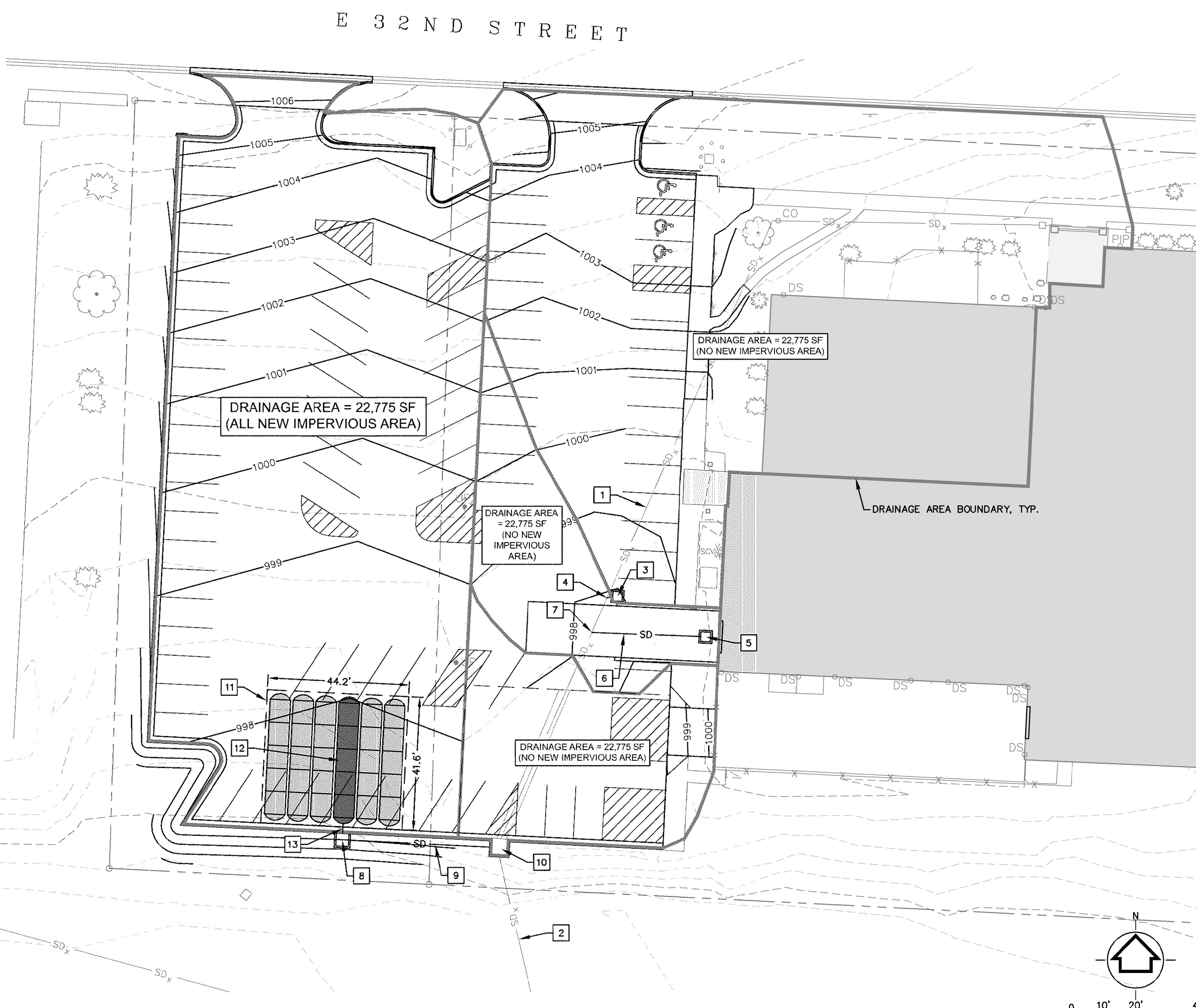
CIVIL PROJECT NOTES

- 1. GENERAL NOTES: 1.1. DO NOT SCALE THESE DRAWINGS. 1.2. ANY WORK THAT EXTENDS BEYOND THE PROJECT LIMITS IS CONSIDERED INCIDENTAL TO AND PART OF THE CONSTRUCTION PROJECT. 1.3. DETAILS ARE SHOWN FOR REFERENCE ONLY. ALL WORK TO BE PERFORMED PER THE GOVERNING STANDARDS AND SPECIFICATIONS. 2. GOVERNING STANDARDS AND SPECIFICATIONS: 2.1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY CODE OF INDEPENDENCE, MISSOURI, CHAPTER 20 PUBLIC WORKS MANUAL, AND OF THE AMERICAN PUBLIC WORKS ASSOCIATION, KANSAS CITY CHAPTER AND ARE HEREBY MADE THE SPECIFICATIONS FOR THIS SET OF PLANS BY REFERENCE AS THOUGH FULLY SET FORTH HEREIN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE A SET OF THESE STANDARD SPECIFICATIONS AND HAVE SUCH SPECIFICATIONS AVAILABLE AT THE SITE OF THE WORK PRIOR TO AND DURING ALL PHASES OF CONSTRUCTION. 2.2. THE ASPHALTIC CONCRETE MIXES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT APWA MIXES, TYPE 3-01 FOR THE SURFACE AND TYPE 1-01 FOR THE BASE. 2.3. FOR ANY WORK REQUIRING AN NPDES PERMIT FOR STORM WATER RUNOFF /AND DISTURBANCE FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, THE PERMIT SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITIES AND ALL WORK SHALL BE PERFORMED FOLLOWING THE CONDITIONS OF THE ISSUED PERMIT. 3. CONTRACTOR'S RESPONSIBILITIES: 3.1. THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN ACTUAL AND PLAN SHOWN CONDITIONS TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION. 3.2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES SHOWN ON THESE PLANS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING ANY RELATED WORK. 3.3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND INSTALLATIONS, INCLUDING SERVICE CONNECTIONS, IN ADVANCE OF EXCAVATION OR TRENCHING, AND PROTECT THE SAME AS REQUIRED TO MAINTAIN GOOD OPERATING CONDITION. 3.4. THE CONTRACTOR SHALL USE HIS OWN INFORMATION AND NOT RELY UPON ANY INFORMATION SHOWN ON THE DRAWINGS CONCERNING EXISTING UNDERGROUND INSTALLATIONS. 3.5. ANY DELAY, ADDITIONAL WORK, OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO EXISTING UNDERGROUND INSTALLATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 3.6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND OBTAIN ALL NECESSARY INSPECTIONS THROUGHOUT THE CONSTRUCTION ACTIVITIES. 4. DEMOLITION: 4.1. DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK. 4.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, AND SIGNS AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACTOR'S CONTRACT WITH THE OWNER. 4.3. UNLESS OTHERWISE NOTED, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND ORDINANCES. 4.4. ALL EXISTING ITEMS TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING FEATURES TO REMAIN. WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN. 4.5. MILL AND/OR REMOVE ANY EXISTING ASPHALT AS REQUIRED TO INSTALL NEW CONSTRUCTION AND MAINTAIN FLUSH CONDITIONS AND POSITIVE DRAINAGE TO ADJACENT MATERIALS TO REMAIN. SAWCUT EDGES (TO FULL DEPTH) OF ALL REMOVED MATERIALS THAT WILL BE EXPOSED IN THE FINAL PRODUCT. 4.6. CONTRACTOR SHALL INSTALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, AND OTHER TRAFFIC CONTROL MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC, TRAFFIC CONTROL DEVICES AND MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, INTERRUPTION TO TRAFFIC FLOW TO BE MINIMIZED DURING PEAK TRAFFIC HOURS. 4.7. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SCHEDULES AND ACTIVITIES WITH THE APPROPRIATE UTILITY OWNER AND PROPERTY MANAGEMENT TO MINIMIZE DISRUPTION TO OVERALL PROPERTY OPERATIONS. 4.8. THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK, INCLUDING DEMOLITION AND REMOVAL, WITH THE APPROPRIATE UTILITY COMPANIES AND SERVICE PROVIDERS PRIOR TO DISCONTINUATION OF SERVICE. UTILITIES NOT NOTED FOR DEMOLITION SHALL REMAIN IN SERVICE AT ALL TIMES. 5. EROSION CONTROL: 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING STORM WATER POLLUTION PREVENTION (SWPP) AT THE TIME THE PROJECT BREAKS GROUND. SWPP SHOULD FOLLOW CLOSELY TO THE E.P.A. OFFICE OF WATER, STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES; DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES, EPA NUMBER 832R92005 (SEPTEMBER 1992). THE EROSION CONTROL FEATURES, NOTES AND SPECIFICATIONS IN THESE PLANS REPRESENT THE MINIMUM REQUIREMENTS ACCEPTABLE, LOCATIONS ARE TYPICAL AND MAY VARY ACCORDING TO CONTRACTORS STAGING AND LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL ADJUST, MODIFY, AND ADD TO THIS PLAN AS NECESSARY TO CONTROL EROSION, SILTATION AND POLLUTION. 5.2. IT SHALL BE EACH CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT POLLUTION FOR ALL WORK WHICH THEY ARE DIRECTLY INVOLVED. EROSION CONTROL DEVICES ALONG THE DOWN SLOPE SIDE OF THE PROJECT SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY GRADING WORK. WHEN POSSIBLE WITHOUT ADVERSELY AFFECTING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF SURFACE AREA WHICH IS EXPOSED AT ONE TIME, LEAVE GRADED WITH A ROUGH TEXTURE, CONSTRUCT TEMPORARY TERRACES DURING GRADING OPERATIONS, AND LIMIT UNNECESSARY VEHICLE TRAFFIC IN GRADED AREAS. THE SPILLAGE OF DEBRIS, INCLUDING THE TRACKING OF SOIL, OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE AVOIDED. THEREFORE THE CONTRACTOR SHALL PROVIDE STABILIZED DRIVES AT ALL ACCESS LOCATIONS AS NECESSARY. SILT FENCES OR SIMILAR MEASURES SHALL BE PLACED ON CONTOUR ELEVATION ALONG THE DOWNHILL SIDE AND FOR THE FULL EXTENT OF THE DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS. THE LAST 5 FEET ON EACH END OF RUN SHALL BE PLACED FACING UPHILL AT 90 DEGREES TO THE CONTOUR LINE. THE CONTRACTOR SHALL PREVENT SILT AND SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM. SILT FENCE PLACED AROUND ALL STORM SEWER INLETS EXCEPT DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL REMOVE IT AS ONE METHOD OF MEETING THIS REQUIREMENT. CONTRACTOR SHALL INSPECT THEIR EROSION CONTROL DEVICES EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH. THE OPERATOR SHALL REPAIR DAMAGE, CLEAN OUT SEDIMENT AND ADD ADDITIONAL CONTROL DEVICES AS NEEDED AS SOON AS POSSIBLE AFTER INSPECTION. DEFECTIVE DEVICES MUST BE CORRECTED WITHIN 7 DAYS OF INSPECTION. ALL AREAS UPON REACHING FINAL GRADE SHALL BE BROUGHT TO FINAL PLAN CONDITIONS (PAVED, SEEDED AND MULCHED, SODDED, OR OTHER) AS SOON AS POSSIBLE. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND UNIFORM PERENNIAL COVER WITH A DENSITY OF 70% (MINIMUM FOR UNPAVED AREAS IS ESTABLISHED.) CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS. 6. GRADING ACTIVITY NOTES: 6.1. REMOVE ALL TREES, GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED OR GRADED. 6.2. IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW. 6.3. ALL SLOPES, CUT OR FILL, SHALL BE GRADED TO MAXIMUM FINISH SLOPE OF THREE (3) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL. NO GRADED SLOPE SHALL EXCEED 3:1 WITHOUT SPECIFIC SLOPE PLANTING OR REINFORCEMENT. 6.4. ALL SLOPES SHALL BE GRADED TO ASSURE DRAINAGE OF WATER FROM ALL SURFACES. 6.5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURFACE AND GROUNDWATER CONTROL MEASURES. 6.6. GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. 6.7. STORM DRAINAGE SYSTEMS WITHIN THE PROJECT AREA ARE TO BE COMPLETELY CLEANED AT THE COMPLETION OF THE PROJECT. 6.8. EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. 6.9. ALL SOILS UNDERCUTTING, OVER EXCAVATION, UNDER DRAIN INSTALLATION, AND ROCK FILLS SHALL BE DETERMINED AND DIRECTED BY THE SOILS ENGINEER. 6.10. FILL AREAS TO BE COMPACTED TO 95% STANDARD PROCTOR MINIMUM UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER. 6.11. UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS TO RECEIVE 6 INCHES OF TOPSOIL AND TO BE SODDED. 7. SITE NOTES: 7.1. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDINGS, DOORS, PORCHES, AND BUILDING UTILITY CONNECTIONS. 7.2. ALL ACCESSIBLE SPACES, ROUTES, RAMPS, AND ETC., TO MEET AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN, LATEST REVISION, AS WELL AS ANY LOCAL REQUIREMENTS AND REGULATIONS. 7.5. ALL SIGNAGE TO BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. 8. STORM SEWER NOTES: 8.1. CONSTRUCTION SHALL BE FROM DOWNSTREAM TO UPSTREAM END. 8.2. ALL TRENCHING UNDER PAVED SURFACES SHALL INCLUDE FULL DEPTH AGGREGATE BACKFILL. 8.3. ALL CONCRETE ITEMS INCLUDING ANY REQUIRED REINFORCING STEEL.

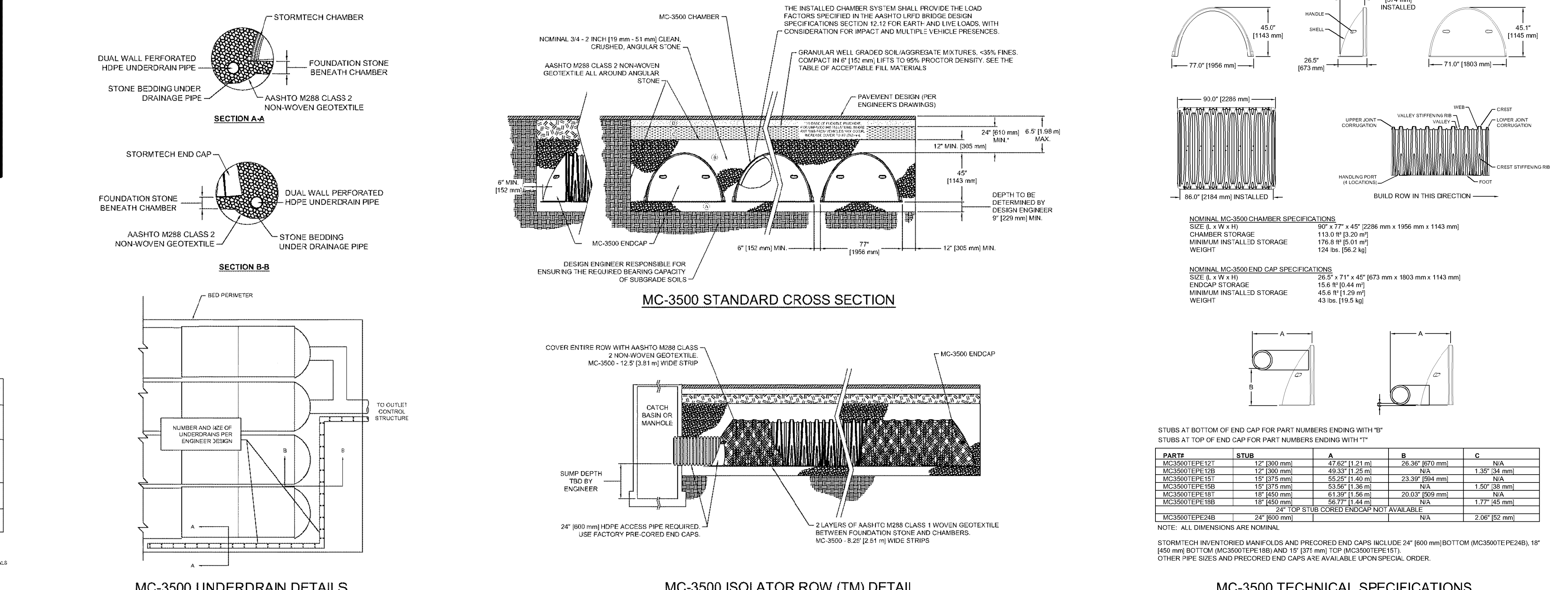
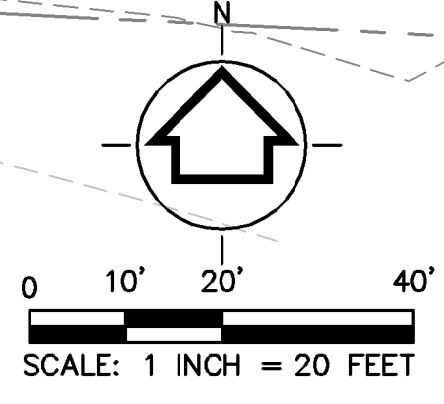
SHEET KEYNOTE LEGEND

- KEY NOTES
1. EXISTING 12" PVC @ 1.78% SLOPE
2. EXISTING 12" RCP
3. NEW GRADED INLET
997.74 TOP
993.74 F/L 12" PVC (W)
4. INSTALL TEE ON EXISTING 12" PVC AND STUB UP TO NEW INLET
991.21 F/L EXISTING 12" PVC
5. NEW GRADED INLET
997.00 TOP
993.00 F/L 12" PVC (W)
6. 35 LF OF 12" PVC AT 5.1% SLOPE
7. INSTALL TEE ON EXISTING 12" PVC
991.21 F/L EXISTING 12" PVC
8. NEW CURB INLET
997.65 TOP
997.15 GUTTER LINE ELEVATION
991.40 F/L 12" PVC (W)
INSTALL WEIR PLATE:
991.40 F/L 4" LOW FLOW ORIFICE
995.15 TOP OF WEIR PLATE
9. 45 LF OF 12" PVC AT 2.0% SLOPE
10. EXISTING GRADED INLET
997.27 TOP
995.77 EX. F/L 12" PVC (N)
996.27 EX. F/L 12" RCP (S)
990.50 NEW F/L 12" PVC (W)
11. UNDERGROUND DETENTION
AGGREGATE BED:
1" CLEAN AGGREGATE
41.6' x 44.2'
990.40 BOTTOM
996.15 TOP
WRAPPED IN GEOTECH FABRIC
ADS MC-3500 CHAMBERS
30 UNITS AND 12 END CAPS
991.40 BOTTOM
995.15 TOP
12. AOS "ISOLATOR ROW"
13. 24" HDPE

DETENTION REQUIREMENTS
DRAINAGE AREA DATA
21,695 SF (0.50 AC) NEW IMPERVIOUS COVER
CN = 90
REQUIRED DETENTION VOLUME
PER FIGURE 11 (CITY OF INDEPENDENCE SIMPLIFIED VOLUME CHART FOR DETENTION FACILITIES:
12,280 CF / ACRE = 6,140 CF STORAGE
PROVIDED DETENTION VOLUME
CHAMBERS: 30 x 110 = 3,300 CF
END CAPS: 12 x 14.9 = 178 CF
AGGREGATE: 41.6 x 44.2 x 5.75 = 10,573 CF - 3,478 CF CHAMBERS = 7,095 CF
40% Voids = 2,838 CF AGGREGATE STORAGE
TOTAL PROVIDED STORAGE = 6,316 CF STORAGE
ALLOWABLE RELEASE RATE
1.8 CFS / ACRE FOR 100 YEAR EVENT:
1.8 x 0.5 = 0.9 CFS
OUTLET DESIGN
OUTLET: 4" ORIFICE, F/L = 991.40
AREA = pi/4 x D^2 = 0.099 SF
HEAO = TOP STORAGE - F/L - D/2 = 995.15 - 991.40 = 0.333/2 = 3.58 FT
OUTFLOW = 0.6 x A x SQRT (2 x G x H) = 0.6 x 0.099 x SQRT (2 x 32.2 x 3.58) = 0.80 CFS



DRAINAGE PLAN - WEST AREA



MC-3500 STANDARD CROSS SECTION

MC-3500 ISOLATOR ROW (TM) DETAIL

MC-3500 NOTES

Table with columns: MATERIAL LOCATION, DESCRIPTION, AASHTO M88 DESIGNATION, COMPACTION DENSITY REQUIREMENT. Includes notes on acceptable fill materials and stormtech chamber systems.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

STORMTECH ACCEPTABLE FILL MATERIALS

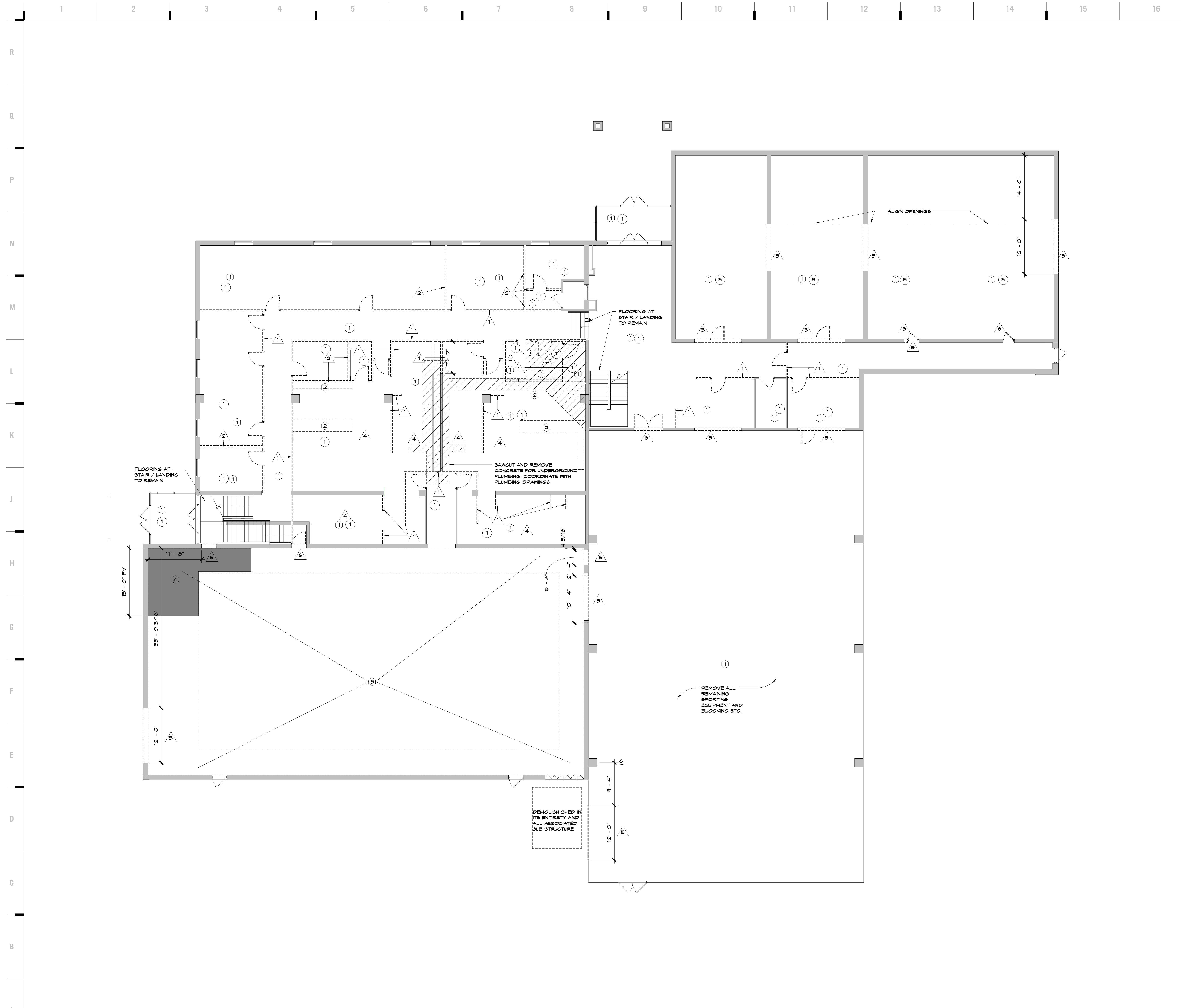
MC-3500 UNDERDRAIN DETAILS

MC-3500 ISOLATOR ROW (TM) DETAIL

MC-3500 TECHNICAL SPECIFICATIONS

Table with columns: PARTS, STUB, A, B, C. Lists technical specifications for MC-3500 chamber parts and end caps.

Vertical sidebar containing logos for 'hollis architects + miller', 'District Warehouse Independence School District', '14001 East 32nd Street Independence, MO 64055', '100% Construction Documents', and 'C103'.



GENERAL DEMOLITION NOTES

1. THESE NOTES APPLY TO ALL DEMOLITION WORK
2. IT IS THE INTENT OF THE DEMOLITION DRAWINGS TO REMOVE ALL EXISTING CONSTRUCTION WHICH CONFLICTS WITH THE INTENT OF THE NEW CONSTRUCTION BEING BUILT/ INSTALLED. EVERY DETAIL OF THE DEMOLITION WORK MAY NOT NECESSARILY BE COVERED ON THESE DRAWINGS. YET THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE DEMOLITION WORK EVEN THOUGH NOT SHOWN OR SPECIFICALLY CALLED FOR, AND MUST BE INCLUDED IN THE BID.
3. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED. HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN.
4. AT DISSIMILAR FLOOR ELEVATIONS, AFTER EXISTING CONSTRUCTION HAS BEEN REMOVED, CONTRACTOR SHALL LEVEL AND FEATHER OUT FLOOR WITH LATEX GROUT TOPPING ON EACH SIDE TO CREATE A SMOOTH LEVEL FLOOR. AT DISSIMILAR FLOOR MATERIALS AND/OR AT JUNCTIONS BETWEEN NEW AND EXISTING FLOORS, PROVIDE APPROPRIATE EDGE AT TERMINATION STRIPS.
5. THE CONTRACTOR SHALL PATCH TO MATCH ADJACENT SURFACES OF EXISTING WALLS AND FLOORS IN ALL AREAS THAT REQUIRE THE REMOVAL OF GENERAL MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND/OR EQUIPMENT AND FIXTURES.
6. WHERE REMOVAL OF EXISTING WALLS, PARTITIONS, EQUIPMENT, ETC. INTERFERED WITH OR DISTURBED EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SERVICES, THE CONTRACTOR SHALL MAKE REVISIONS AS REQUIRED, AND IF NECESSARY, PROVIDE TEMPORARY SERVICES TO AREAS NOT SCHEDULED FOR DEMOLITION AND REMODELING.
7. WHERE EXISTING CONSTRUCTION SHOWN TO REMAIN IS DAMAGED BY CONTRACTOR, CONTRACTOR SHALL BE RESPONSIBLE TO PATCH TO MATCH MATERIALS AND FINISHES TO THE ORIGINAL CONDITION. IF EXISTING FINISHES CANNOT BE MATCHED, THE AREAS SHALL BE REFINISHED TO NEAREST CORNER OR BREAKING POINT.
8. MAINTAIN SECURE, WEATHER TIGHT ENCLOSURE OF EXISTING BUILDING THROUGHOUT PERIOD OF WORK.
9. DEMOLITION PLANS REPRESENT THE MINIMUM DEMOLITION NEEDED TO ACCOMMODATE NEW CONSTRUCTION. THE CONTRACTOR HAS THE OPTION TO DEMOLISH ADDITIONAL AS NEEDED TO FACILITATE THE NEW CONSTRUCTION.
10. AVOID DISTURBANCE OF SOILS WITHIN THE ZONE OF INFLUENCE FROM EXISTING FOOTINGS OR FLOOR SLABS.
11. THE OWNER WILL IDENTIFY ALL ITEMS TO BE SALVAGED PRIOR TO START OF THE DEMOLITION. CONTRACTOR SHALL SALVAGE AND TURN OVER TO OWNER ALL EQUIPMENT IDENTIFIED. ALL REMAINING EQUIPMENT NOT IDENTIFIED BY OWNER TO BE SALVAGED WILL BE REMOVED BY CONTRACTOR.
12. COORDINATE THE REMOVAL OF ALL/PORTION OF LOAD BEARING ELEMENTS WITH STRUCTURAL PRIOR TO REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED.

DEMOLITION NOTES

FLOORS & BASE

1. REMOVE EXISTING FLOORING MATERIAL (CARPET OR TILE) AND ASSOCIATED BASE, ADHESIVE, MORTAR, ETC.
2. REMOVE EXISTING CONCRETE CURB IN ORDER THAT IT IS FLUSH TO ADJACENT CONCRETE FLOOR LEVEL.
3. REMOVE POOL IN ITS ENTIRETY ALONG WITH ASSOCIATED DRAINS. DEMOLISH PERIMETER CONCRETE IN ITS ENTIRETY.
4. REMOVE EXISTING ELEVATED SLAB IN ITS ENTIRETY.

WALLS

1. REMOVE ALL/PORTION OF EXISTING CMU / BRICK WALL. COORDINATE REMOVAL OF CONDUIT, SWITCHES, WIRING, ETC. REMOVE BASE AS REQUIRED. SALVAGE BRICK FOR REUSE. ANY DOOR FRAME WITHIN THIS WALL CONSTRUCTION TO BE DEMOLISHED WITH THE WALL.
2. REMOVE EXISTING STUD WALL CONSTRUCTION. COORDINATE REMOVAL OF CONDUIT, SWITCHES, WIRING, ETC. REMOVE BASE AS REQUIRED. ANY DOOR FRAME WITHIN THIS WALL SYSTEM TO BE DEMOLISHED WITH THE WALL.
3. REMOVE EXISTING ALUMINUM WINDOW SYSTEM. DEMOLISH WALL FROM BILL LEVEL DOWN TO FLOOR AT THESE LOCATIONS.
4. REMOVE EXISTING PLUMBING FIXTURES, PIPING ETC. COORD. WITH MEP.
5. NEW DOOR OR MASONRY OPENING. COORDINATE HEIGHTS WITH DOOR SCHEDULE. SHORE OPENING AS NECESSARY UNTIL PERMANENT STRUCTURE IS INSTALLED.
6. REMOVE EXISTING DOOR AND FRAME. RATED DOOR AND FRAME TO BE INSTALLED IN SAME LOCATION AS PART OF NEW WORK.

CEILINGS

1. REMOVE EXISTING LAY-IN ACOUSTICAL TILE AND SUSPENSION SYSTEMS. EXISTING HANGERS MAY BE REUSED FOR NEW CEILING. LEAVE EXISTING LIGHT FIXTURES SUSPENDED FROM CEILING.
2. REMOVE EXISTING METAL CEILING AND METAL DECK AT VESTIBULE.
3. REMOVE EXISTING METAL STUD FRAMING AND GYP BD CEILING. ALL ELECTRICAL ITEMS TO BE RESUPPORTED TO EXISTING STRUCTURE.

NOTE: ALL EXISTING ITEMS TO BE REMOVED TO EXISTING STRUCTURE OR FINISHED WALL TO REMAIN. ALL SURFACES SHALL BE LEFT IN A CLEAN / SMOOTH CONDITION READY FOR FINISH WORK. COORDINATE WITH MEP AND NEW WORK.

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District Warehouse Phase #2
Independence School District
14001 East 32nd Street
Independence, MO 64055

REVISIONS:

#	Description	Date

100% Construction Documents

THE PROFESSIONAL ARCHITECTURAL DESIGNER HAS PREPARED THESE PLANS AND SPECIFICATIONS TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEFS AND TO THE BEST OF HIS/HER SKILL AND ABILITY. HE/SHE HAS NOT CONDUCTED A VISUAL CHECK OF THE SITE OR THE EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

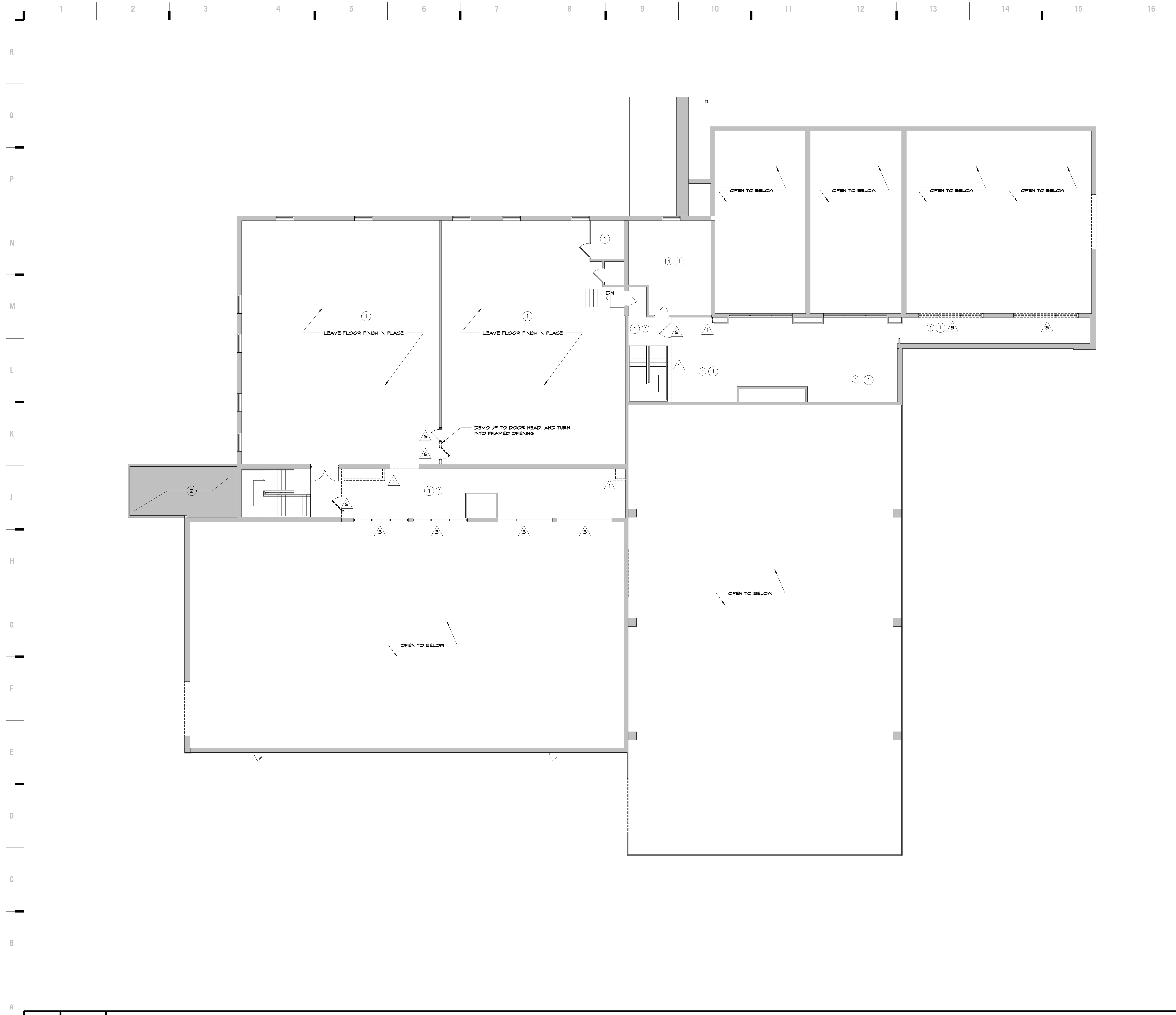
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MARK CHRISTIAN
ARCHITECT
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CHECKED BY: JD
DATE: 01.27.2016

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OF



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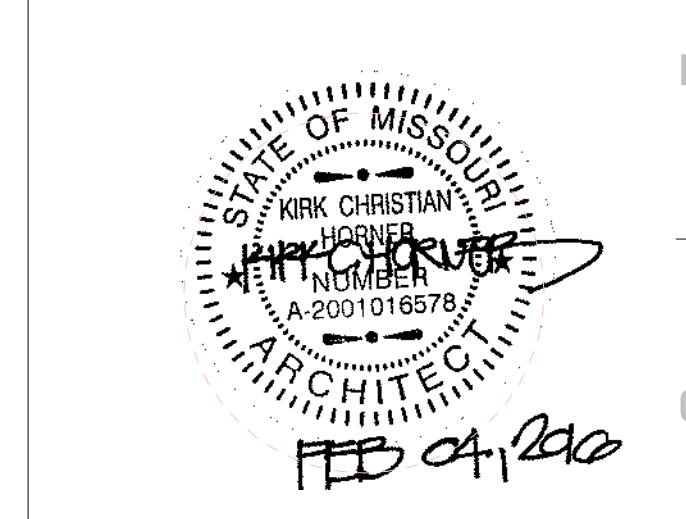
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Kansas City, MO 64116
816.361.1177 phone

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Independence School District
14001 East 32nd Street
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REVISIONS:

#	Description	Date



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DATE: 01.27.2016

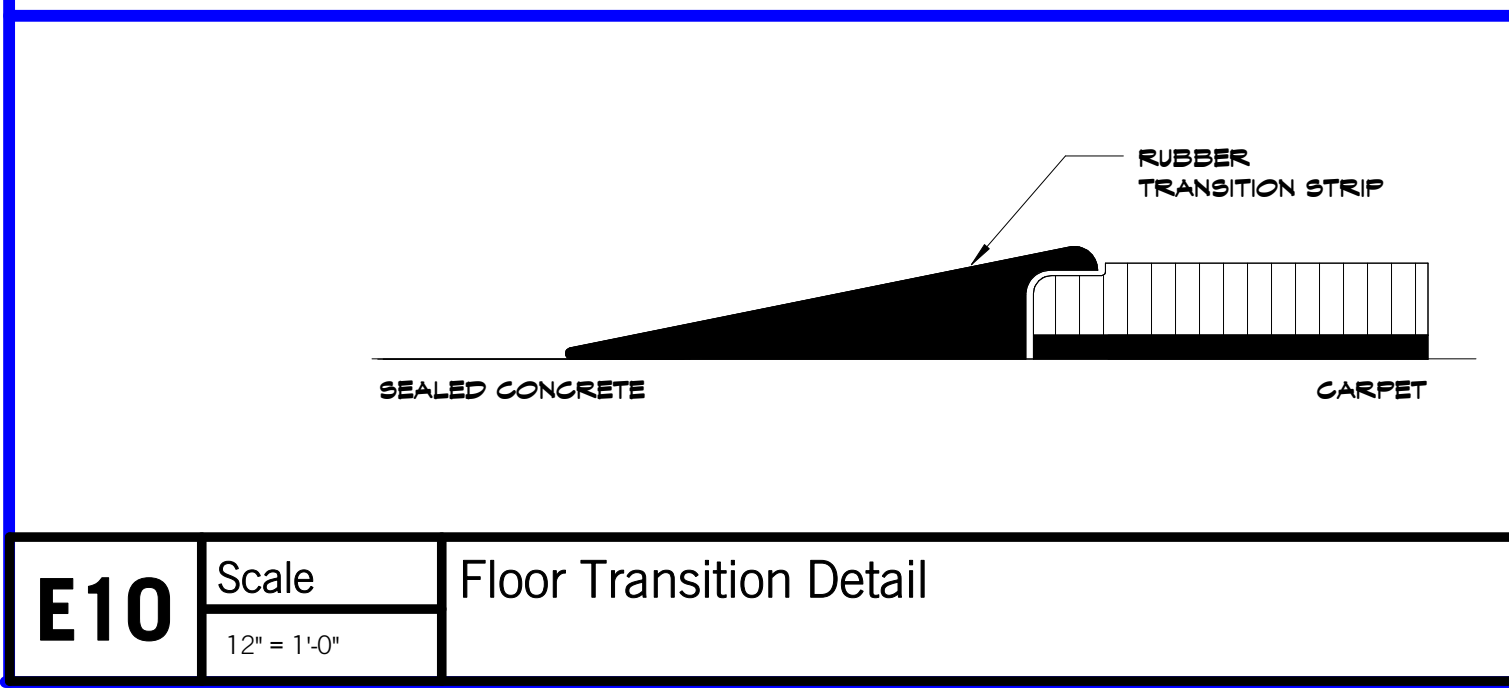
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MATERIAL LEGEND SCHEDULE

ID	KEYNOTE	MANUFACTURER	MATERIAL	LOCATION GUIDELINES	REMARKS
ACT1	04 51 19.A01	ARMSTRONG	CIRCUIS, 24" X 24" LAY-IN SQ EDGE, GRID 15/16", COLOR: WHITE	RESTROOMS/BREAKROOM	
G1	04 69 19.A01	TANDUS	STYLE: LINEAVE 04946, COLOR: SILICATE 21904, SIZE: 24" X 24", PATTERN: VERTICAL ASHLAR	TRAINING ROOM/STAFF/FOOD MANAGER	
G2	04 68 19.A01	TANDUS	STYLE: LINEAVE 04946, COLOR: CIRCUITBOARD 21906, SIZE: 24" X 24", PATTERN: VERTICAL ASHLAR	TRAINING ROOM/STAFF/FOOD MANAGER	
G3	04 68 19.A01	TANDUS	STYLE: LINEAVE 04946, COLOR: POSITIVE CHARGE 21910, SIZE: 24" X 24", PATTERN: VERTICAL ASHLAR	TRAINING ROOM/STAFF/FOOD MANAGER	
DEP	04 91 29.A06	WOLF GORDON	PINK ON COLOR	TRAINING ROOM	
DFF1	04 91 29.A07		DRY FALL PAINT TO MATCH SHERWIN WILLIAMS SW7068 NEBULOUS WHITE	STAFF	
DFF2	04 91 29.A07		DRY FALL PAINT TO MATCH SHERWIN WILLIAMS SW7066 GRAY MATTERS	TRAINING/BREAK ROOM	
EP1	04 96 00.A01		EXPOXY PAINT TO MATCH SHERWIN WILLIAMS SW7064 PASSIVE	MENS/MOWENS	
EP2	04 96 00.A01		EXPOXY PAINT TO MATCH SHERWIN WILLIAMS SW669T NUGGET	MENS/MOWENS	
F1	04 91 29.A02	SHERWIN WILLIAMS	SW7068 NEBULOUS WHITE		
F2	04 91 29.A02	SHERWIN WILLIAMS	SW7064 PASSIVE		
F3	04 91 29.A02	SHERWIN WILLIAMS	SW7066 GRAY MATTERS		
F4	04 91 29.A01	SHERWIN WILLIAMS	SW669T NUGGET		
F5	04 91 29.A01	SHERWIN WILLIAMS	SW6804 DIGNITY BLUE		
F6	04 91 29.A01	SHERWIN WILLIAMS	SW6809 DANUBE		
FL1	12 32 00.A01	NEVAMAR	BLUE SHIMMER HAUTELINK HLBO01T	BREAKROOM BASE CABINETS	
RB1	04 68 19.A01	ROPPE	19T ICEBERG, 4" H STRAIGHT		
RB2	04 68 19.A01	ROPPE	19T ICEBERG, 4" H COVE		
SC	08 30 00.A21				
SB1	12 32 00.A04	MILSONART	COCONUT OIL 910068	BREAKROOM COUNTER	
WD1	06 40 29.A07		FLYWOOD VENEER, WHITE BIRCH, FLAIN SLICED	TRAINING ROOM/BREAK ROOM	
MF1	04 77 29.A01	MAHARAM	PATTERN: ROVE 466096, COLOR: 006 MUM	STAFF/BREAKROOM	
MF2	04 77 29.A01	MAHARAM	PATTERN: MESSBENGER 458640, COLOR: 040 NILE	STAFF/BREAKROOM	
MF3	04 77 29.A01	MAHARAM	PATTERN: MESSBENGER 458640, COLOR: 038 DEPTH	STAFF/BREAKROOM	

ROOM FINISH SCHEDULE

NO	ROOM Name	FLOOR		WALLS				CEILING	Finish Notes
		Finish	Base	North	East	South	West	Finish	
110	Vestibule	SC	RB2	--	F2	F2	--	F1	
111	Storage Managers	SC	RB2	F2	F2	F2	F2	ACT1	3
112	Lift	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
113	IT	SC	RB2	F2	F2	F2	F2	--	
114	Staff	SEE FIN FLR	RB1/RB2	F2	F2	SEE ELEV	F2	DFF1	1, 3, 4, 7, 8
115	Food Manager	C1/C2/C3	RB1	F2	F2	F3	F2	DFF1	6, 7
116	Staff	SEE FIN FLR	RB1/RB2	F2	SEE ELEV	F2	F2	SEE RCP	1, 2, 3, 4, 7, 8
117	Training	C1/C2/C3	RB1	SEE ELEV	DEP/F2/WD1	DEP/F2/WD1	DEP/F2/WD1	DFF2/WD1	2, 3, 5, 6, 7
118	Men's	SC	RB2	F2	F2/P4	F2	F2	ACT1	3
119	Women's	SC	RB2	F2	F2	F2	P2/P4	ACT1	3
120	Toilet	SC	RB2	F2	F2	F4	F2	F1	
120a	Jan	SC	RB2	F2	F2	F2	F2	--	
122	Break Room	SC	RB2	F2	F3/FL1/WD1	F2	SEE ELEV	ACT1/WD1	1, 2, 4
123	Vest	SC	RB2	F2	F2	F2	F2	ACT2	
124	Storage	EXISTING	EXISTING	F2	F2	F2	F2	DFF1	
212	Smallwares 1	EXISTING	EXISTING	F2	F2	F2	F2	EXISTING	
212a	Closet	EXISTING	EXISTING	F2	F2	F2	F2	EXISTING	
213	Smallwares 2	EXISTING	EXISTING	F2	F2	F2	F2	EXISTING	
303	Unoccupied	SC	RB1	F2	F2	F2	F2	ACT1	
304	Stair Lobby			F2	F2	F2	F2		
311	Unoccupied	C1/C2/C3	RB1	F2	F2	F2	F3	EXISTING	7
3100	Storage Bay 1	SC	EXISTING	F2	F2	F2	F2	EXISTING	
3101	Storage Bay 2	SC	EXISTING	F2	F2	F2	F2	EXISTING	
3102	Storage Bay 3	SC	EXISTING	F2	F2	F2	F2	EXISTING	
3102b	Storage Circulation	SC	EXISTING	F2	F2	F2	F2	DFF1	
3102a	Closet	EXISTING	EXISTING	F2	F2	F2	F2	EXISTING	
3104	Storage Bay 4	SC	EXISTING	F2	F2	F2	F2	EXISTING	
3105	Food Storage 1	SC	EXISTING	F2	F2	F2	EXISTING	DFF1	
3106	Food Storage 2	SC	EXISTING	F2	F2	F2	EXISTING	DFF1	
3206	Food Storage 3	SC	EXISTING	F2	F2	F2	EXISTING	DFF1	
3300	Storage Bay 1 - Mezzanine	SC	EXISTING	F2	F2	F2	EXISTING	DFF1	
3300	3100 Mezzanine	SC	EXISTING	F2	F2	F2	EXISTING	EXISTING	



E10 Scale 1/2" = 1'-0" Floor Transition Detail

GENERAL FINISH NOTES

1. AFF REFERENCE ABOVE FINISH FLOOR
2. DO NOT PAINT ALUMINUM OR OTHER NON FERROUS METALS THAT ARE PREFINISHED.
3. THE FOLLOWING ITEMS (EXCEPT WHERE NOTED OTHERWISE) FINISH TO MATCH BACKGROUND: ELECTRICAL PANELS, GRILLS AND LOUVERS
4. INTERIOR CAULKING TO MATCH WALLS.
5. WALL DESIGNATED TO PARTICULAR GEOGRAPHICAL DIRECTION (ie NORTH, SOUTH, EAST, WEST) RELATED TO ARCHITECTURAL PLAN DIRECTIONS.
6. GENERAL INTENT IS FOR ALL COLOR CHANGES TO TAKE PLACE AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
7. ALL INTERIOR SOFFITS TO BE PAINTED ACCENT COLOR ON THE HORIZONTAL AND VERTICAL SURFACES, UNLESS NOTED OTHERWISE.
8. FLOORING CONTRACTOR TO PROVIDE ALL APPROPRIATE RESILIENT TRANSITION PIECES. COLOR TBD BY DESIGNER.
9. DOOR & HOLLOW METAL FRAME COLOR TO MATCH ADJACENT WALL.
10. FLOORING CONTRACTOR TO PROVIDE ALL APPROPRIATE RESILIENT TRANSITION PIECES. COLOR TBD BY DESIGNER.
11. NO PRODUCT NAMES OF ANY FINISH SHALL BE VISIBLE
12. RUBBER BASE PROFILES SHALL BE USED RELATED TO FLOOR FINISH: (A) CARPET SHALL HAVE STRAIGHT BASE, (B) HARD SURFACE FLOORING, WHERE RUBBER BASE IS SPECIFIED SHALL HAVE COVE BASE
13. WALL PAINT FINISH TO BE SEMI-GLOSS, U.N.O. CEILING PAINT FINISH TO BE FLAT, U.N.O. HOLLOW METAL DOOR FRAME FINISH TO BE SEMI-GLOSS, U.N.O.
14. ALL FLOOR TRANSITIONS AT DOORWAYS SHALL BE CENTERED ON THE DOOR JAMB UNLESS DETAILED OTHERWISE.

FINISH NOTES

1. RE FINISH FLOOR PLAN FOR TR EXTENTS.
2. RE RCP FOR EXTENT OF CEILING TYPES.
3. RE FINISH FLOOR PLANS FOR FLOOR MATERIAL TRANSITIONS & WALL FINISHES.
4. RE INTERIOR WALL ELEVATIONS FOR EXTENT OF WALL FINISHES.
5. GYP BOARD IN THESE AREAS TO RECEIVE A LEVEL 5 FINISH.
6. DOOR COLOR TO MATCH SHERWIN WILLIAMS SW6804 DIGNITY BLUE, SEMI-GLOSS (FS).
7. CARPET TILE G1, G2, G3 TO BE INSTALLED VERTICAL ASHLAR. 39% G1, 39% G2, 39% G3. RANDOM PATTERN.
8. EXISTING STAIR TREADS / RISERS AND LANDING FLOORING TO REMAIN. PROVIDE TRANSITIONS TO ADJACENT FLOORING SURFACES. P.V. CONDITIONS.

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#	Description	Date



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A002
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ACCESSORY LEGEND

ABBREV	ACCESSORY	KEYNOTE
MI	MIRROR (SIZE AS NOTED)	10 20 00 A10
FTD	PAPER TOWEL DISPENSER	OWNER PROVIDED
TPD	TOILET PAPER DISPENSER	OWNER PROVIDED
GB	GRAB BARS	10 20 00 A06
SD	SOAP DISPENSER	OWNER PROVIDED
SNR	SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL	10 20 00 A03
CUB	MOP & BROOM HOLDER W/ UTILITY SHELF	10 20 00 A28

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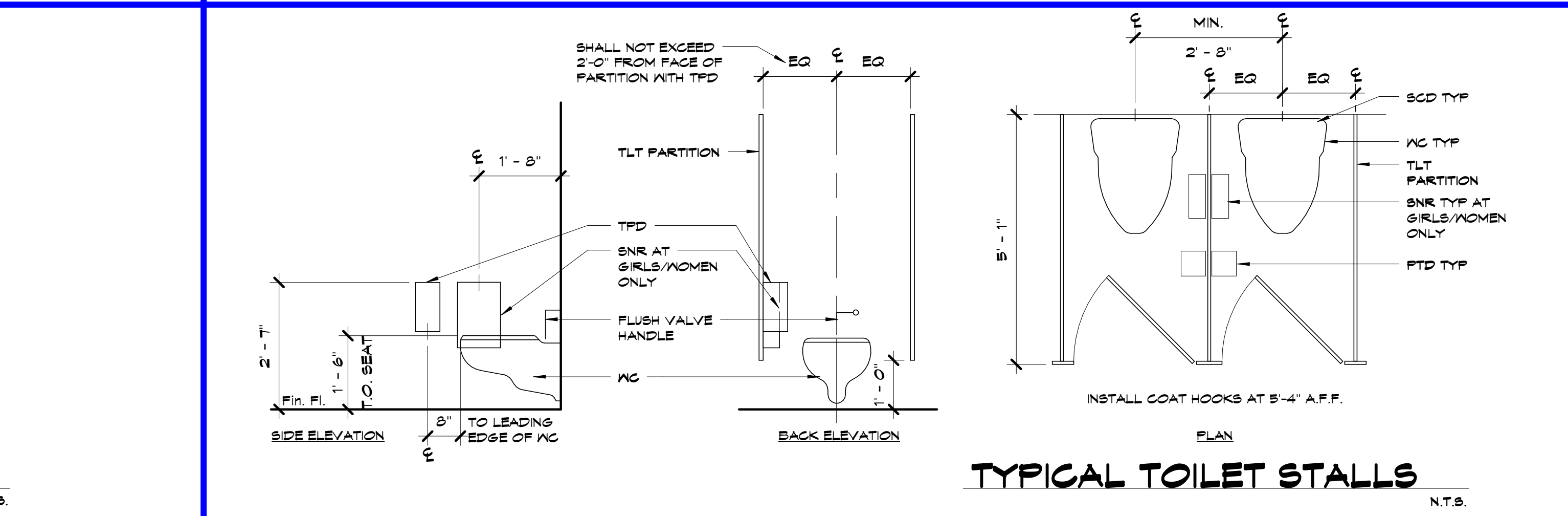
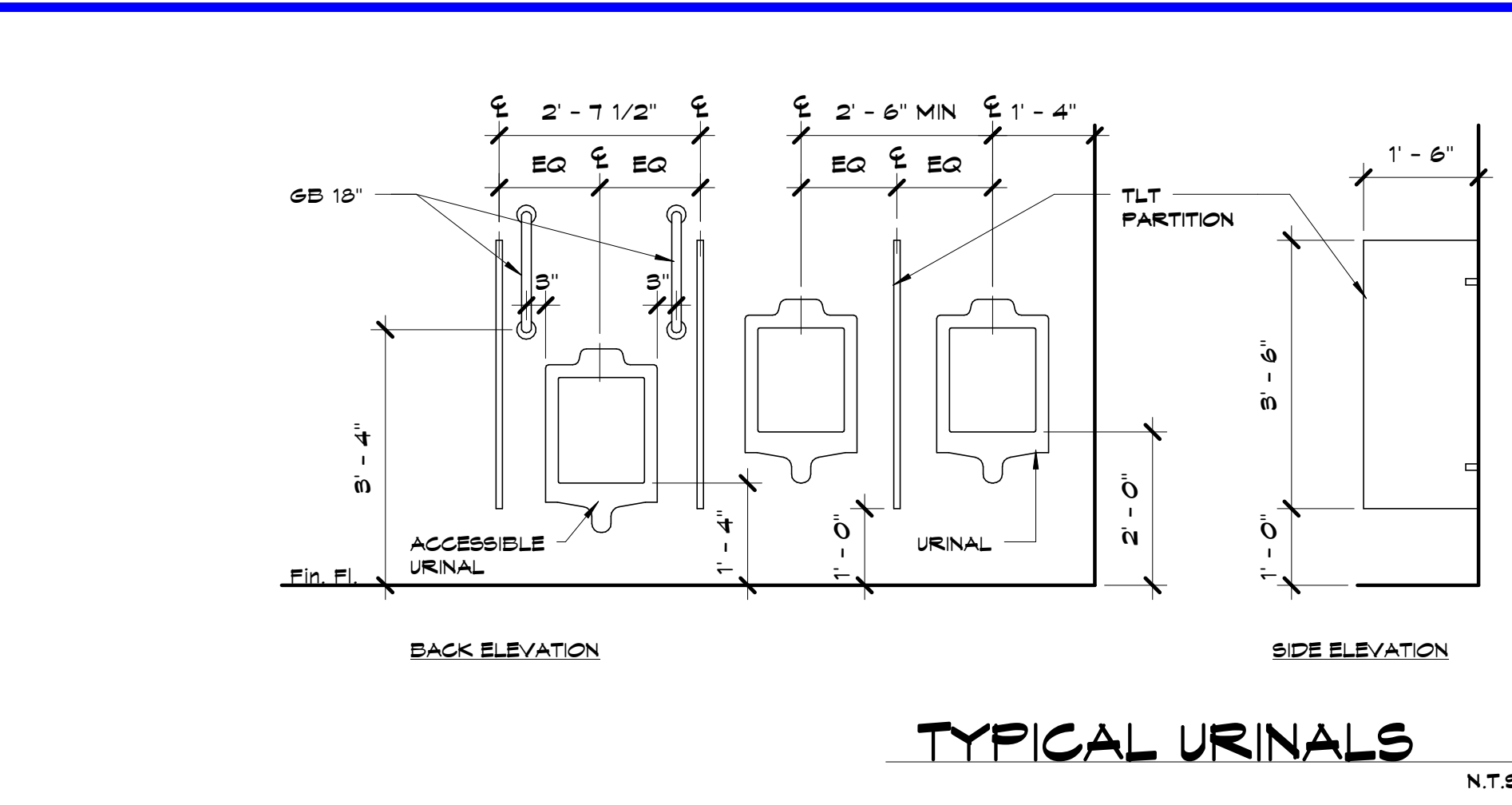
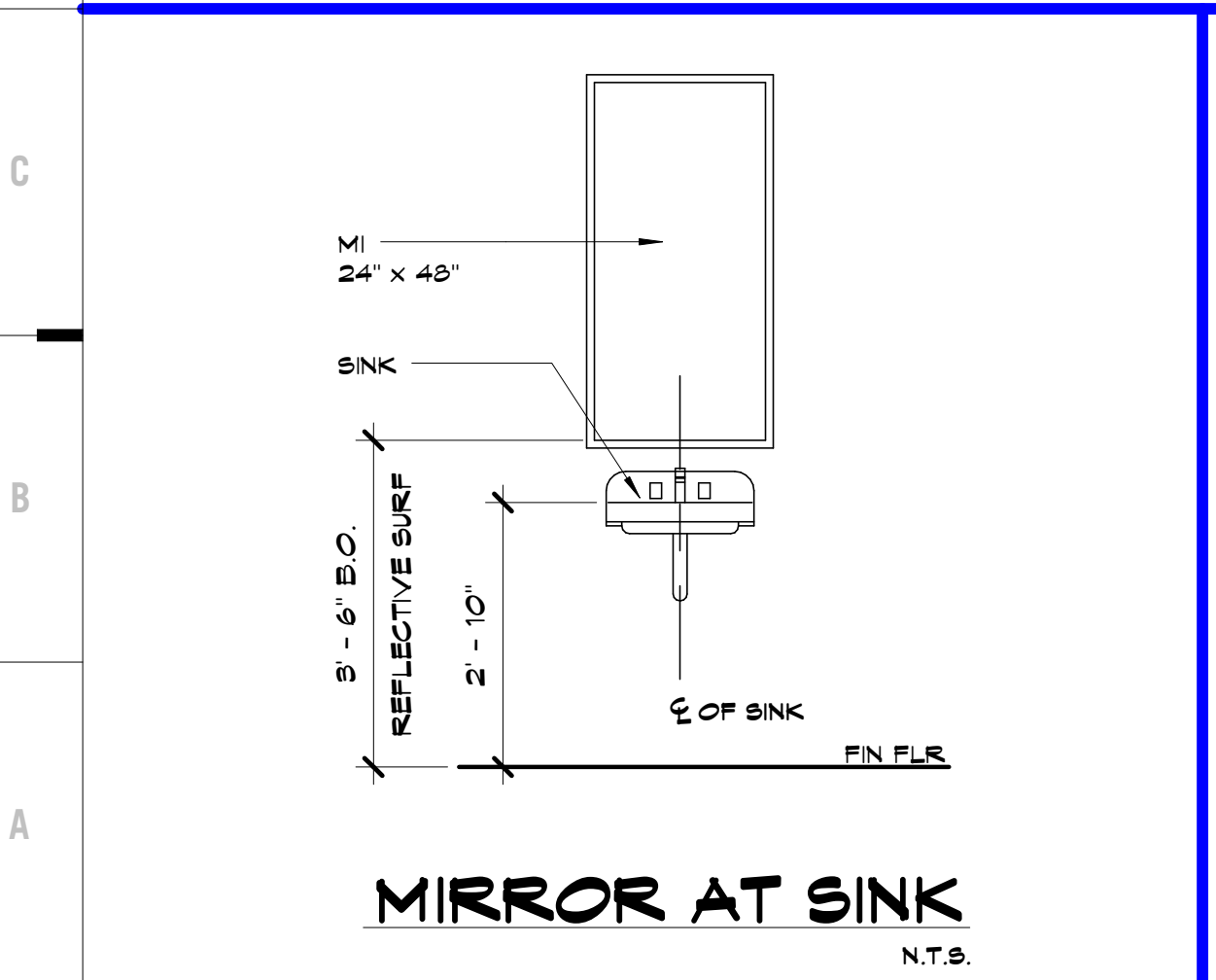
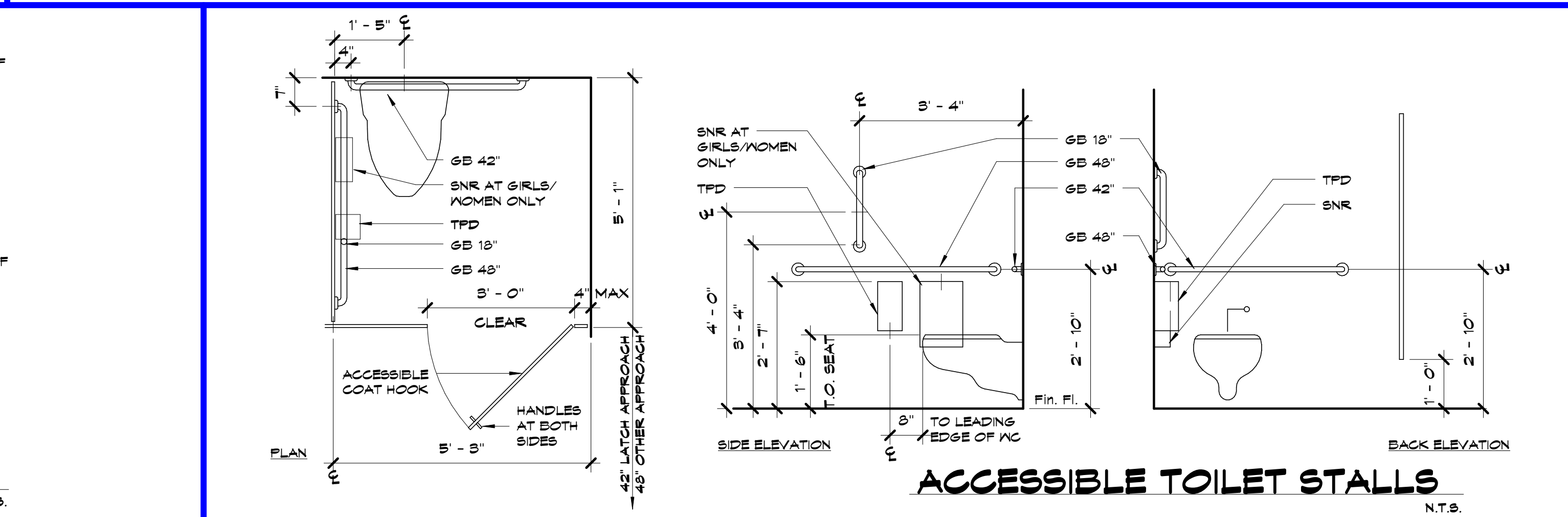
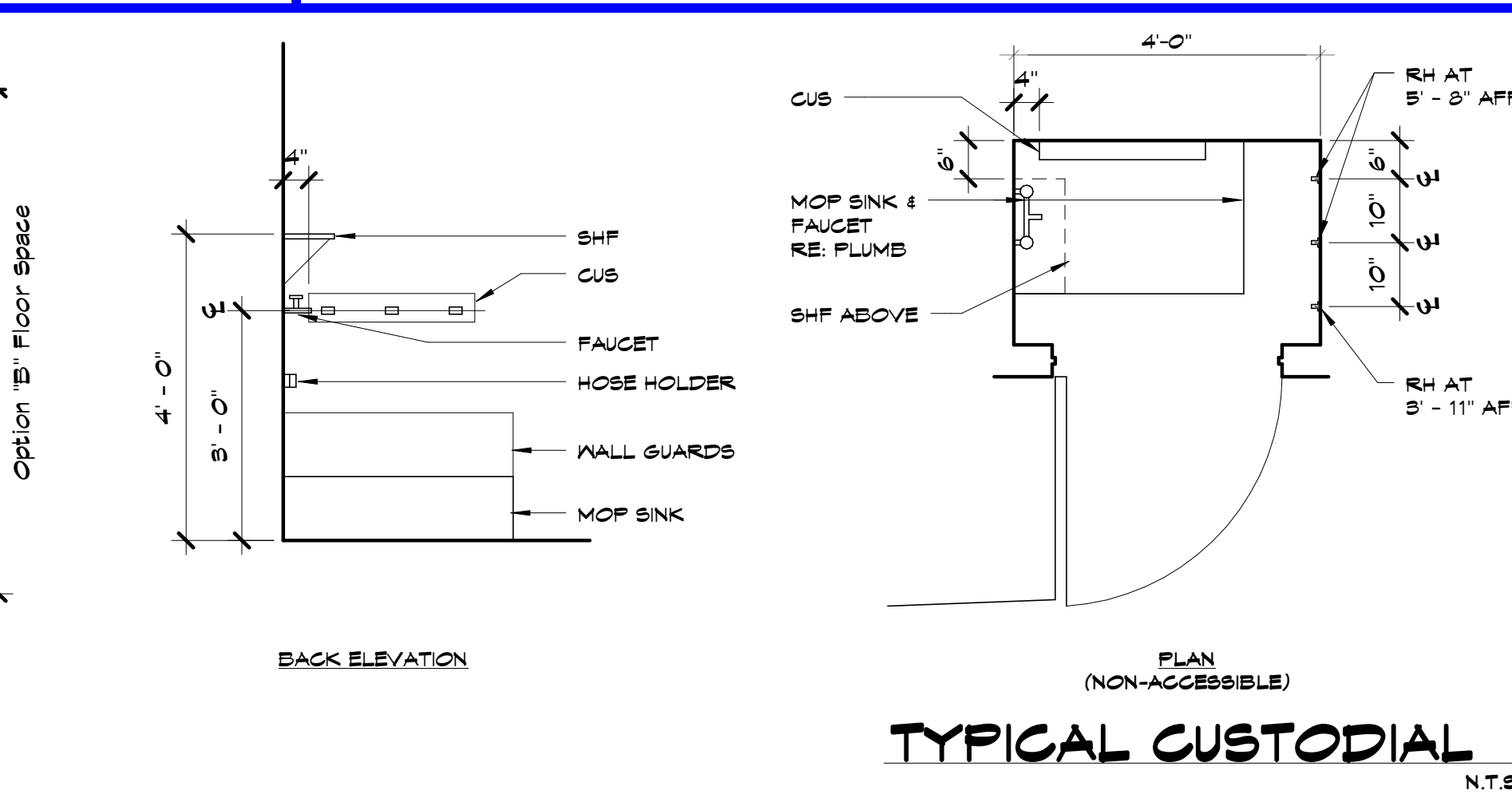
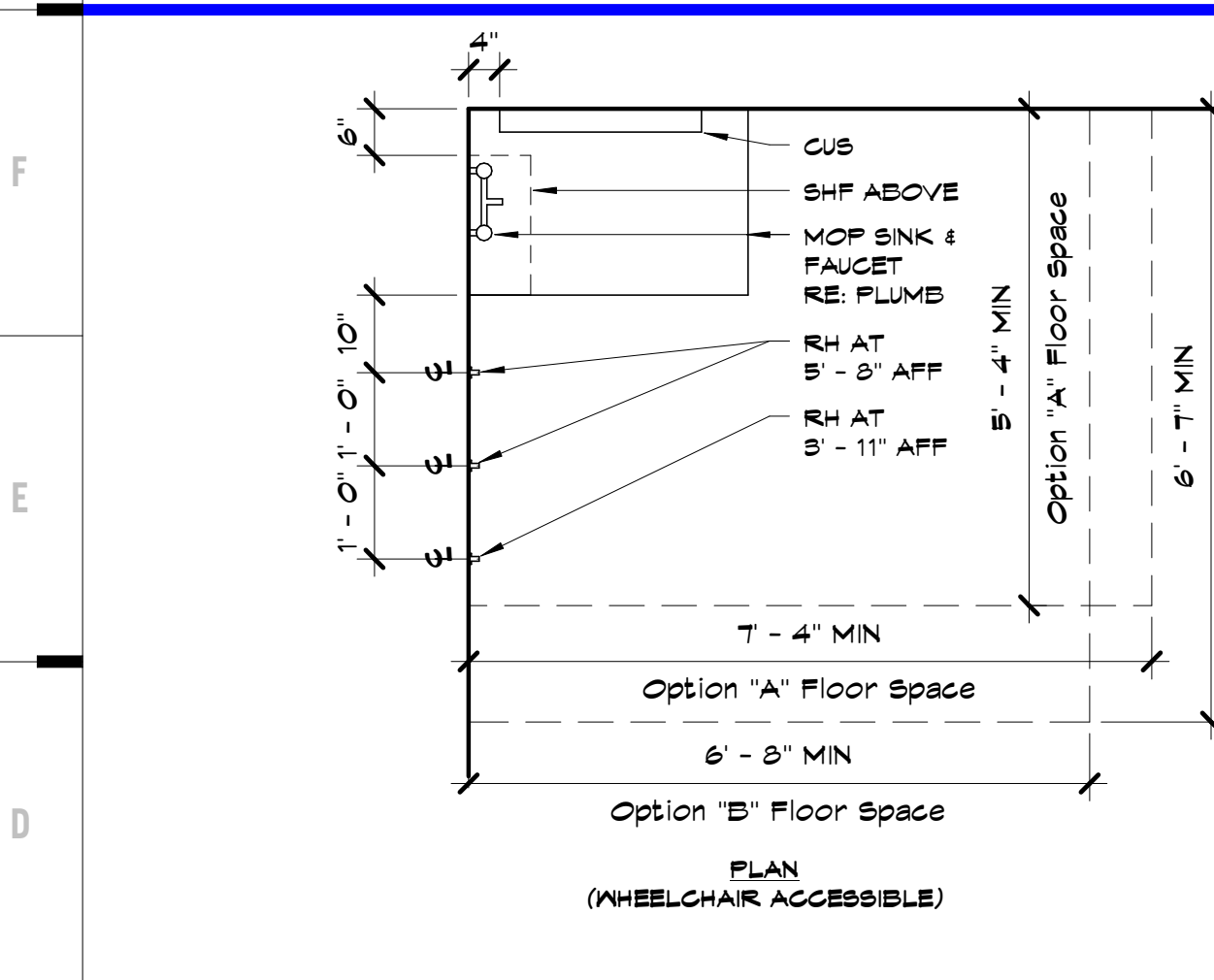
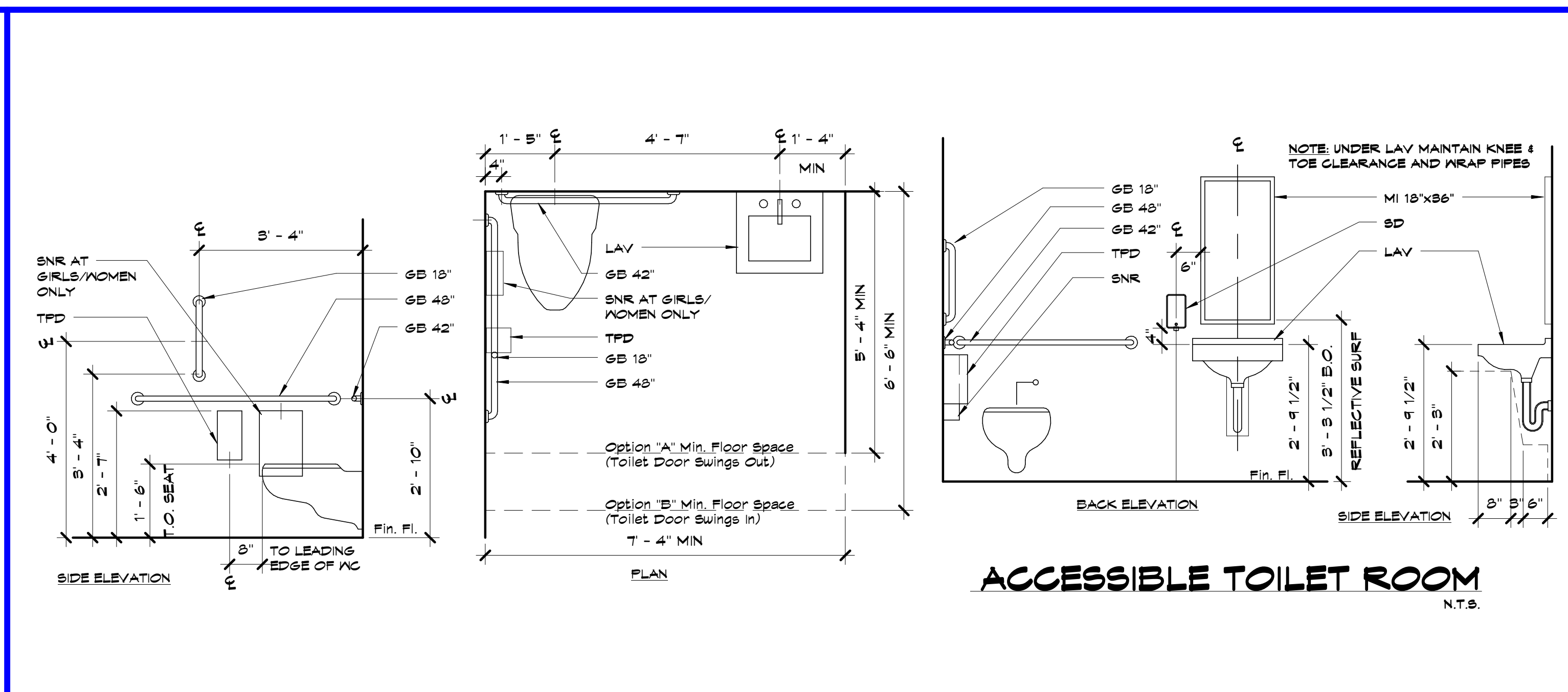
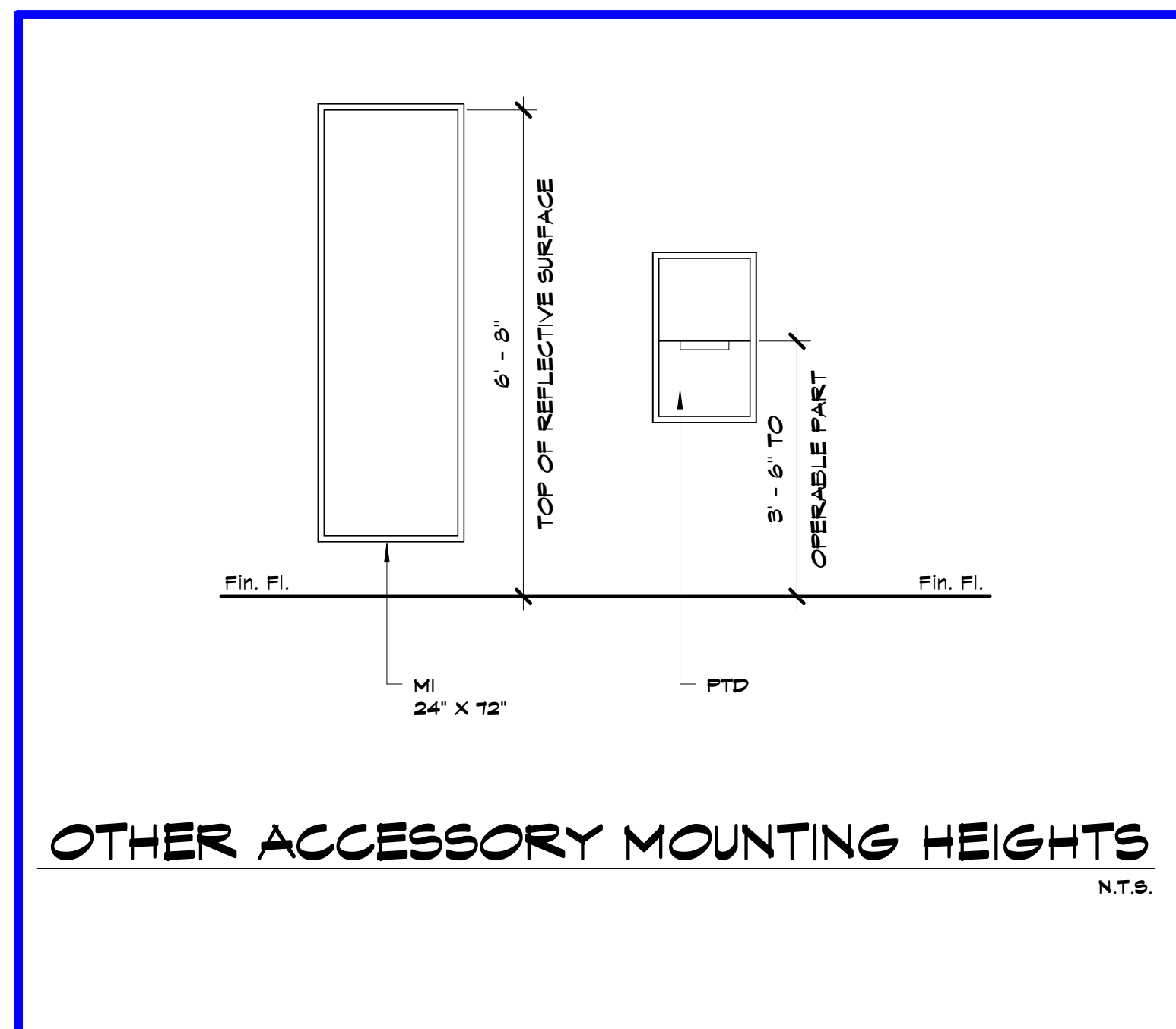
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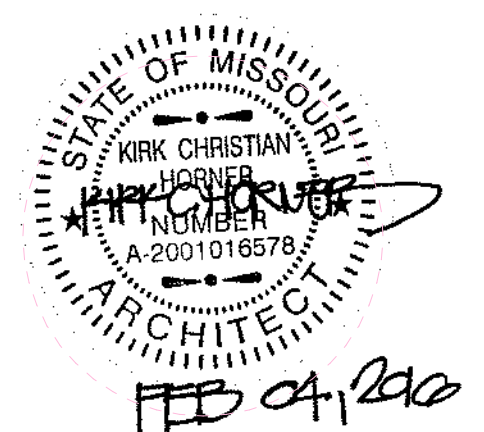
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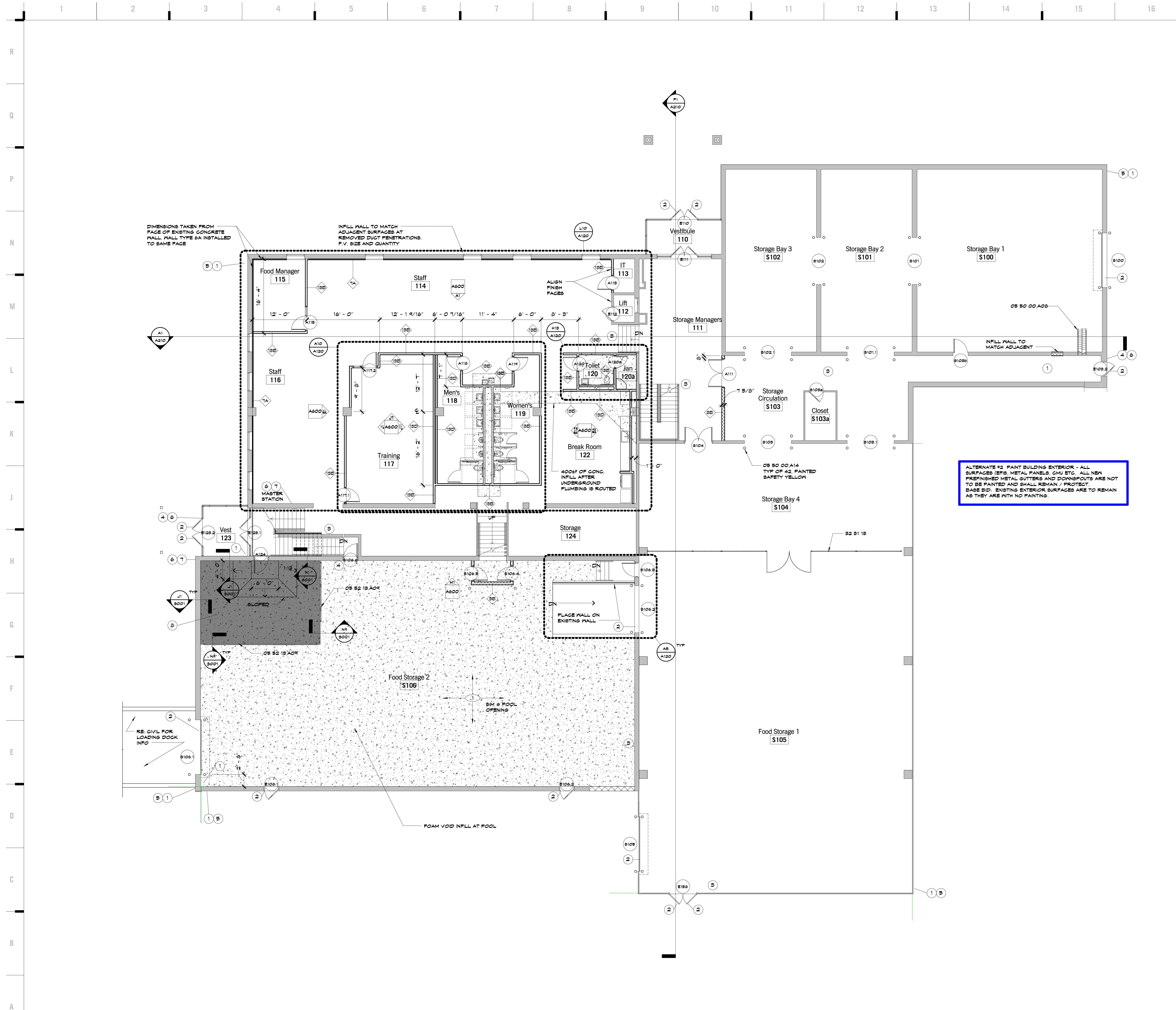
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A003

TOILET ACCESSORY DETAILS



SHEET KEYNOTE LEGEND

OS 50 00 A05	ALTERNATING TREAD DEVICE
OS 50 00 A14	BOLLARDS
OS 52 18 A01	REMOVABLE RAILING SECTIONS
S2 51 15	CHAIN LINK FENCES AND GATES

ALTERNATE #2 PAINT BUILDING EXTERIOR - ALL SURFACES (SBS, METAL PANELS, CMU ETC). ALL NEW PREFINISHED METAL GUTTERS AND DOWNSPOUTS ARE NOT TO BE PAINTED AND SHALL REMAIN / PROTECT. BASE BID. EXISTING EXTERIOR SURFACES ARE TO REMAIN AS THEY ARE WITH NO PAINTING.

PLAN SECURITY SYSTEM NOTES

- 1 CAMERA LOCATION
- 2 DOOR CONTACT
- 3 MOTION DETECTION
- 4 ACCESS CONTROL
- 5 MOUNT SINGLE GANG BOX 10" A.F.F. WITH CONDUIT STUBBED TO INTERIOR ABV CEILING / TIGHT TO EXPOSED STRUCTURE
- 6 MOUNT SINGLE GANG BOX 48" TO CENTER A.F.F. FOR ACCESS CONTROL WITH CONDUIT STUBBED TO INTERIOR ABV CEILING / TIGHT TO EXPOSED STRUCTURE
- 7 AIPHONE (VIDEO INTERCOM)
- 8 WATER DETECTION IN IT ROOM (LOWER LEVEL)

NOTE - CONTRACTOR SHALL COORDINATE AND PROVIDE ALL CONDUIT AND BACK BOXES FOR ALL SECURITY SYSTEM WORK ALONG WITH ALL 120V ELECTRICAL REQUIREMENTS. COORDINATE ALL DOOR HARDWARE REQUIREMENTS.

ALL LOW VOLTAGE WIRING, DEVICES AND FINAL DEVICE INSTALLATION SHALL BE COMPLETED BY:
 DIVE LOGWOOD
 ACS Electronics, Inc.
 918-244-1160 Cell
 918-248-9928 Office
 dlogwood@acs-1.com

PLAN REFERENCE NOTES

- 1 4" CONCRETE SLAB ON GRADE WITH 10 MIL VAPOR RETARDER (15 MIL AT 5/8") AND 4" CRUSHED ROCK DRAINAGE FILL PER SPECIFICATION. REINFORCE PER TYPICAL DETAILS. TOP OF CONCRETE ELEVATION = 100'-0" UNO

SHEET NOTES

- 1. ALL EXISTING DOORS ARE DRAWN WITH A 45° SWING. ALL NEW DOORS ARE DRAWN WITH 90° SWING.
- 2. RE. 5000 AND 5001 FOR TYPICAL STRUCTURAL NOTES AND DETAILS

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 Structure # 00000101

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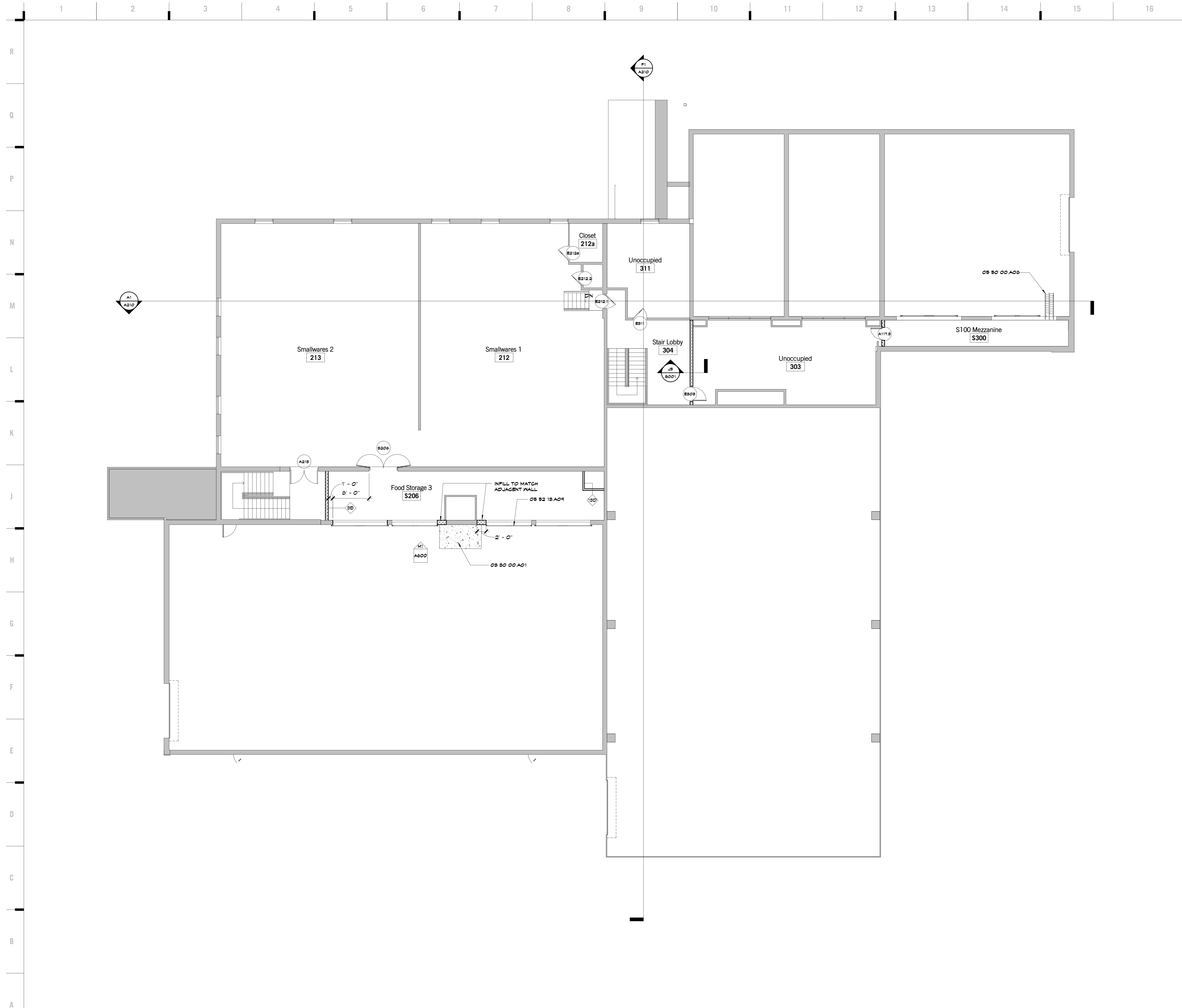
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STATE OF MISSOURI
 ARCHITECT
 MARK CHRISTIAN
 LICENSE NUMBER
 A 2001016378
 FEB 21 2016

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A101
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SHEET KEYNOTE LEGEND

- OS B0 00 AC1 CAST-IN-PLACE CONCRETE
- OS B0 00 AC8 ALTERNATING TREAD DEVICE
- OS B2 18 AC1 REMOVABLE RAILING SECTIONS

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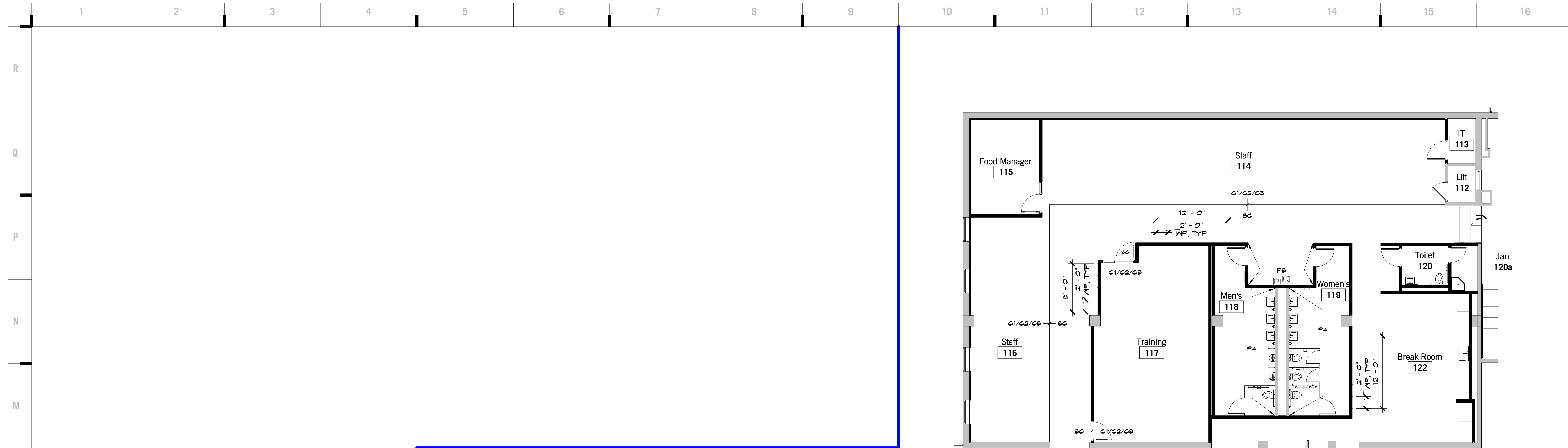
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A102
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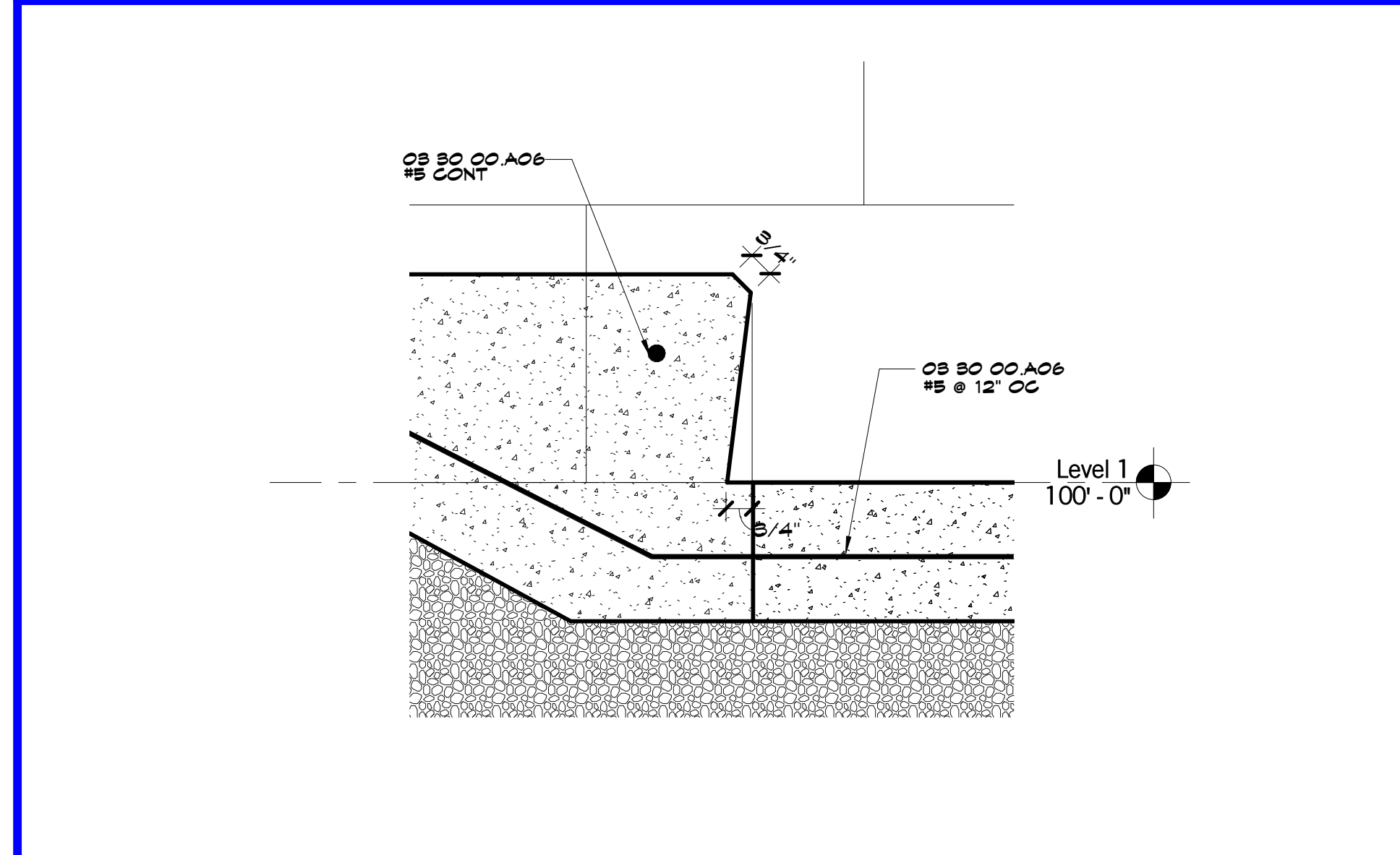
SHEET NOTES

1. ALL EXISTING DOORS ARE DRAWN WITH A 45° SWING. ALL NEW DOORS ARE DRAWN WITH 90° SWINGS.
2. RE. S000 AND S001 FOR TYPICAL STRUCTURAL NOTES AND DETAILS

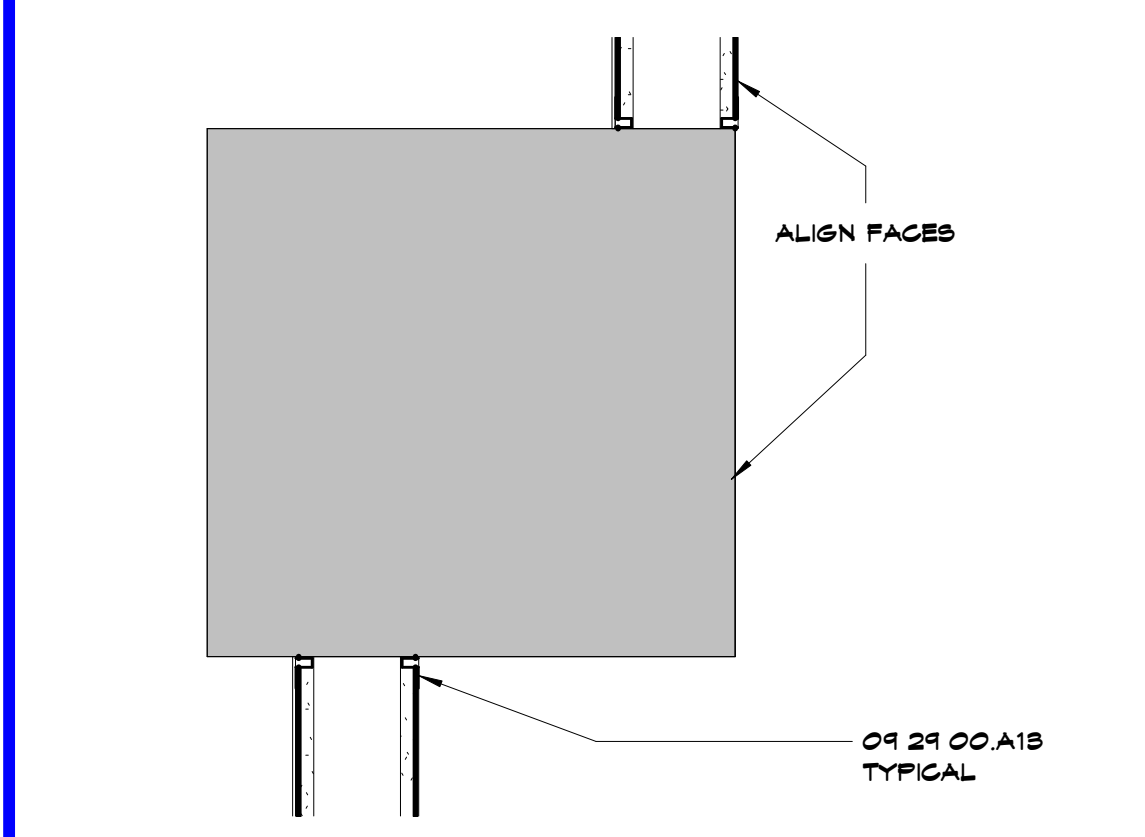
A1 Scale Overall Floor Plan - Level 2 & 3
 1/8" = 1'-0"



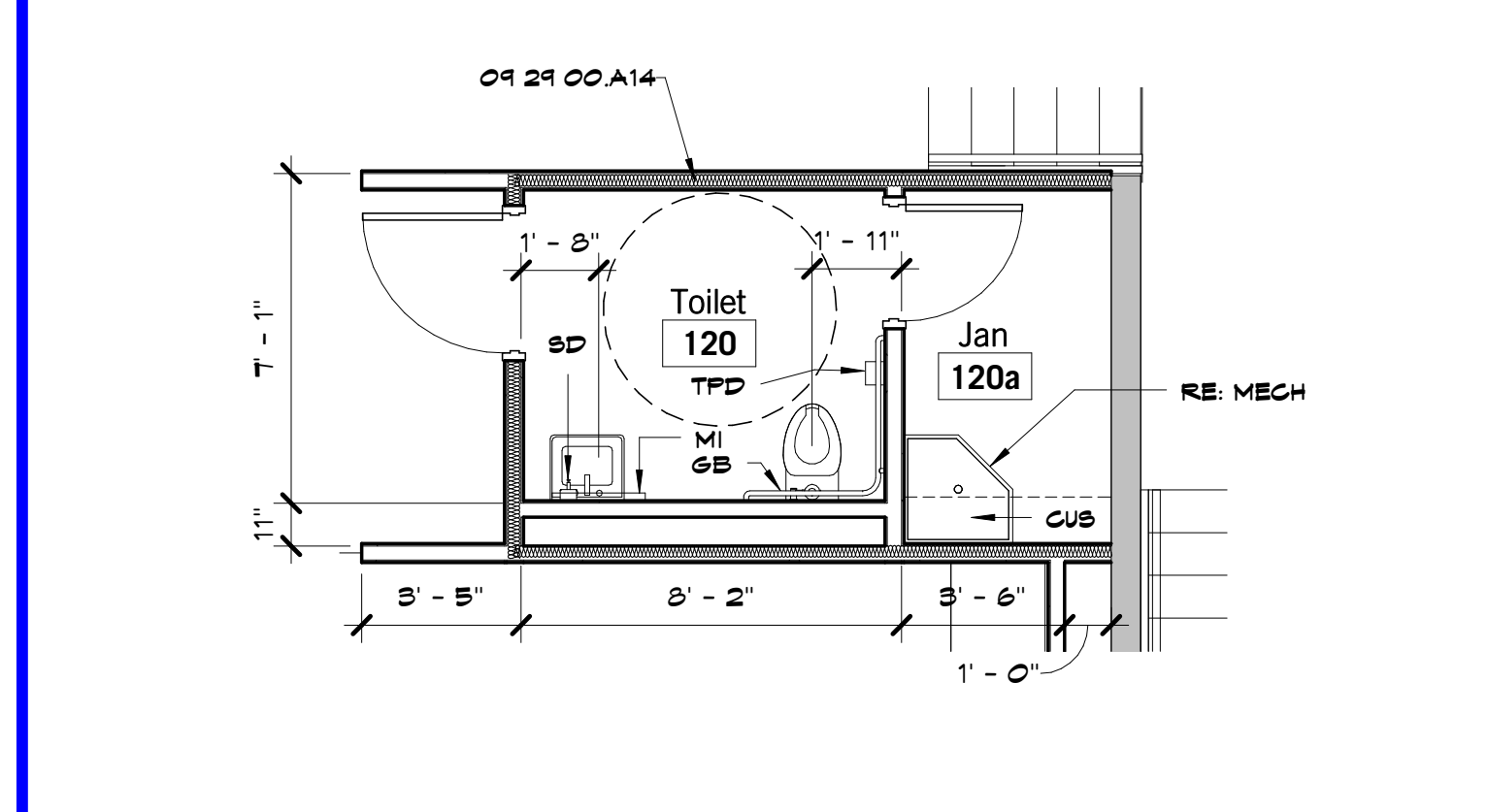
L10 Scale 1/8" = 1'-0" Floor Finish Plan



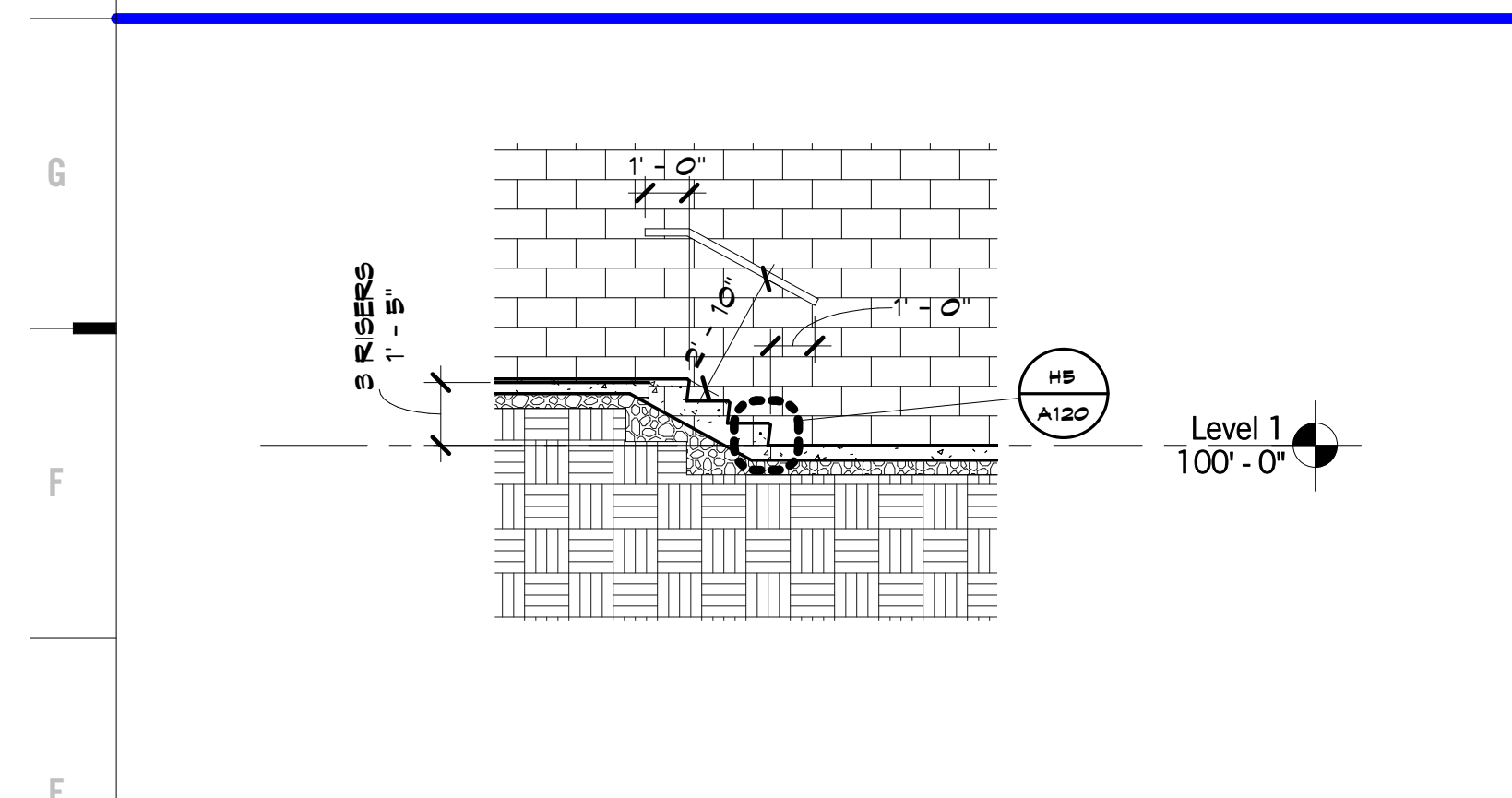
H5 Scale 3/8" = 1'-0" Detail Section - Concrete Stair Nosing



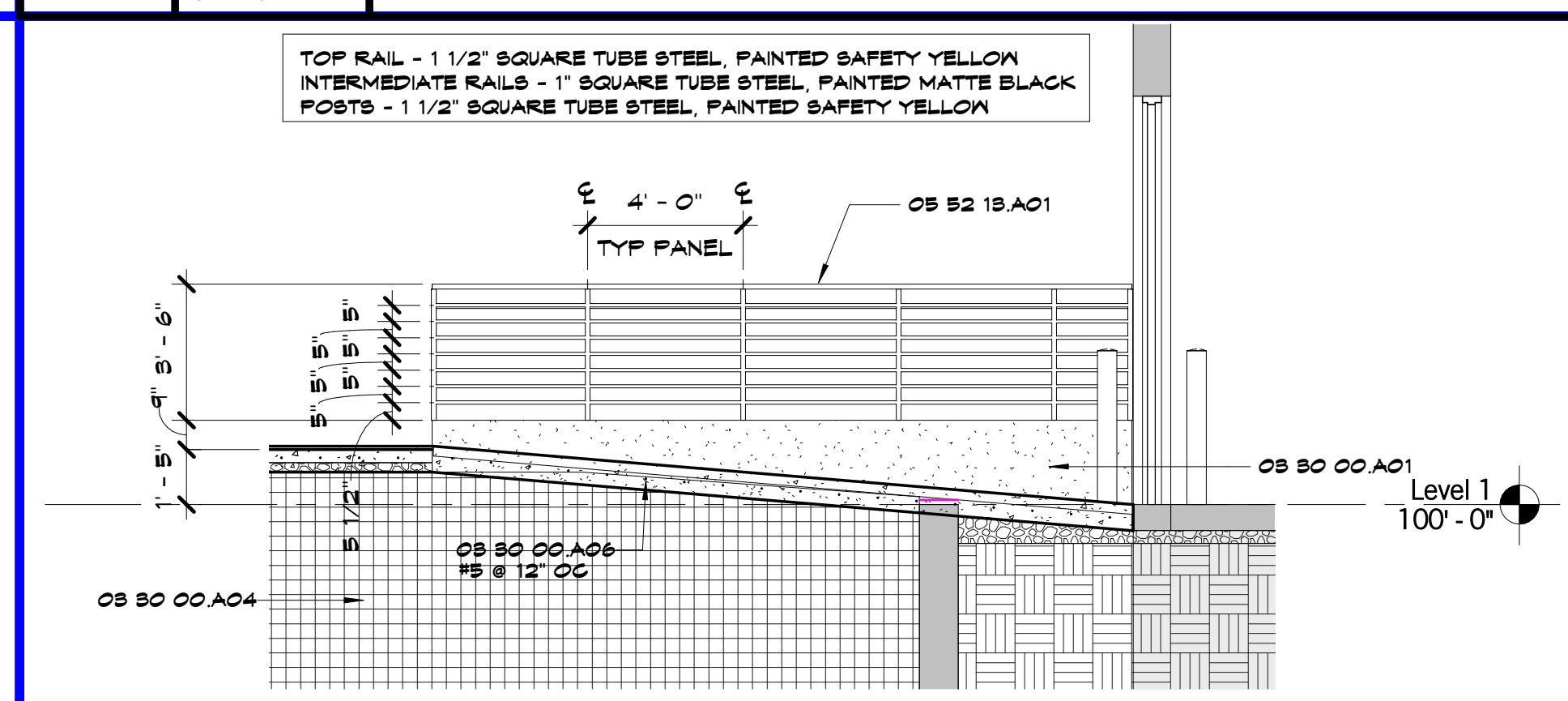
H10 Scale 1 1/2" = 1'-0" Column Detail - Meeting 117



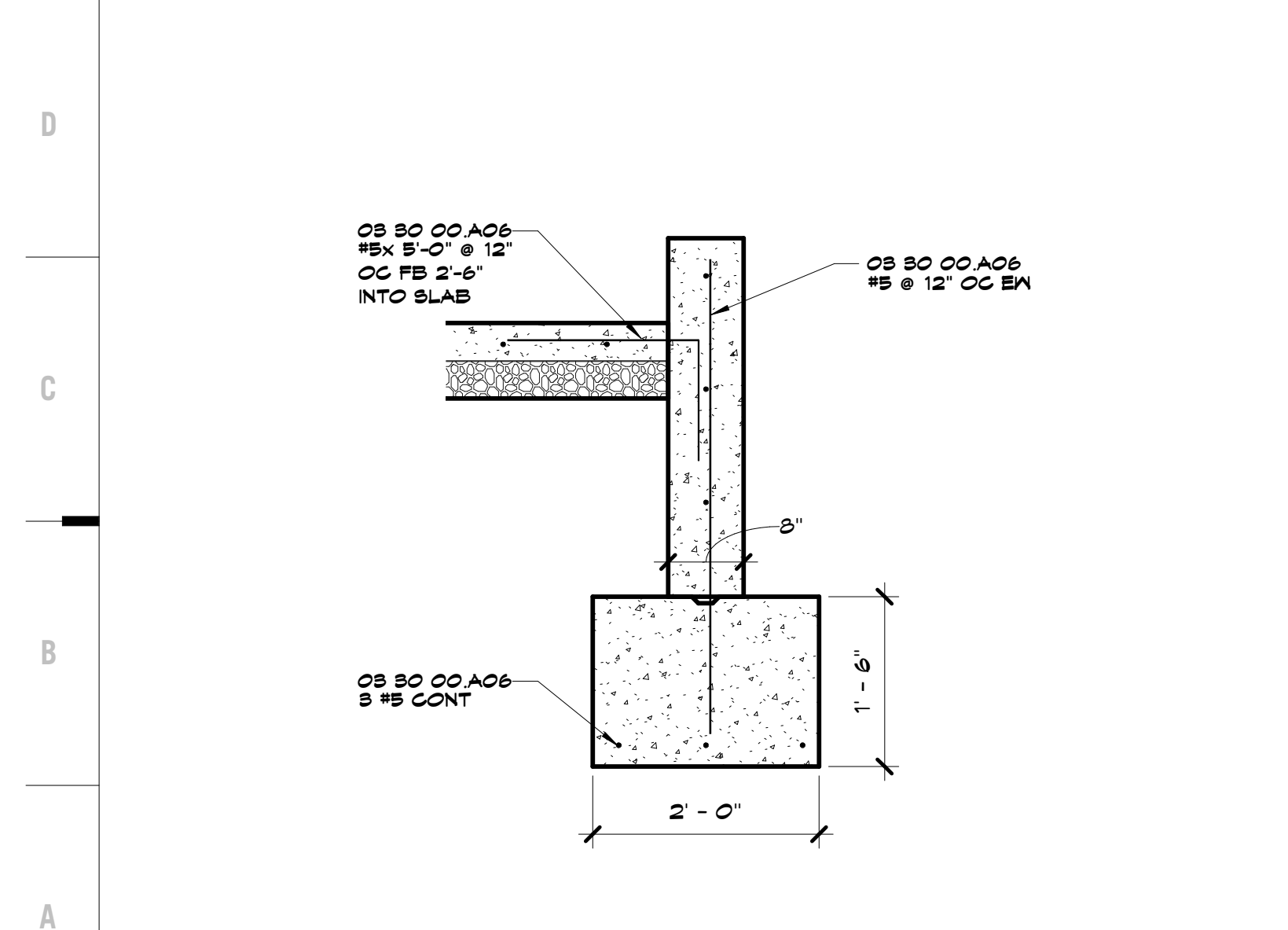
H13 Scale 1/4" = 1'-0" Enlarged Toilet Plan - Toilet Room 105



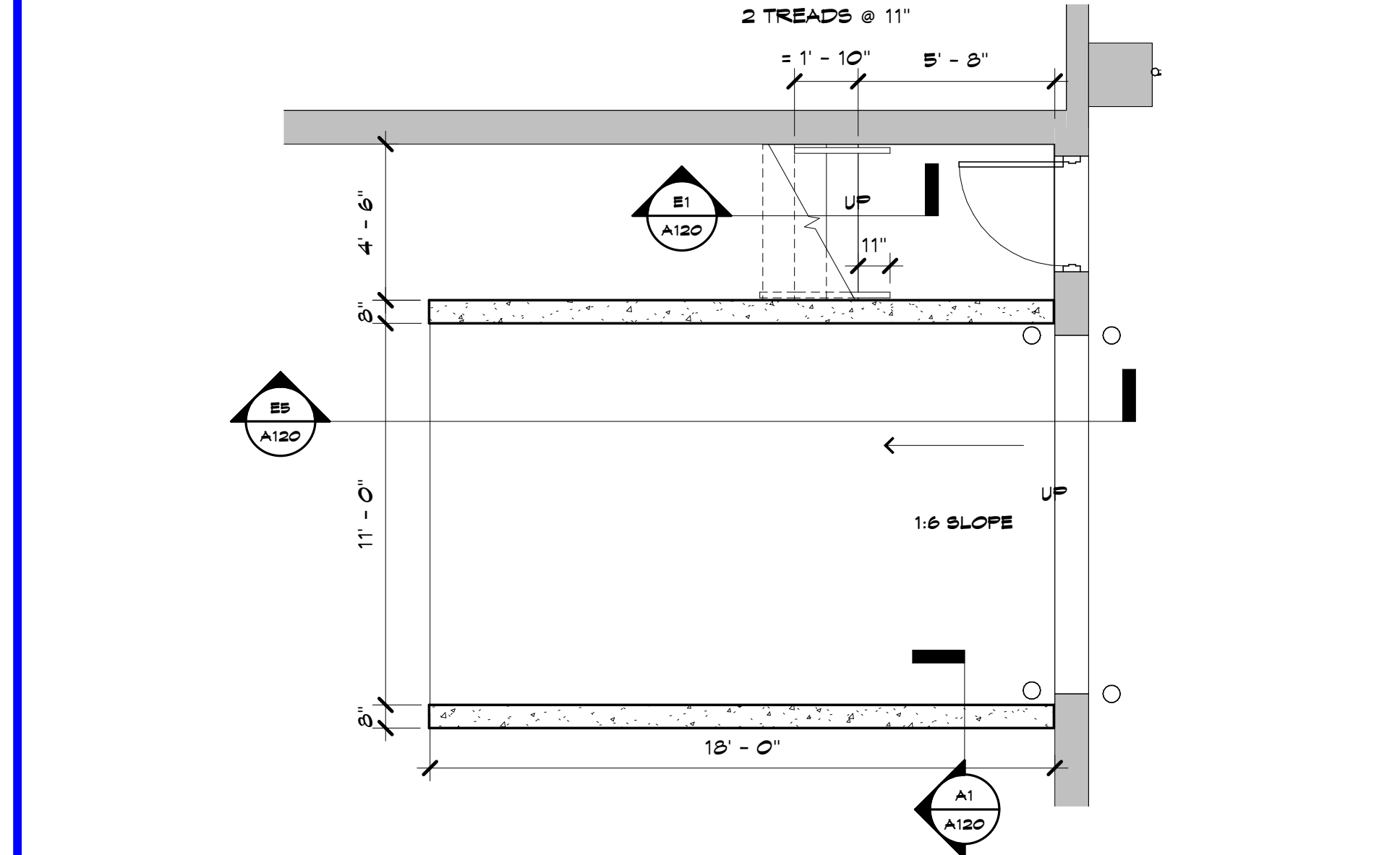
E1 Scale 1/4" = 1'-0" Vertical Circ. Section - Concrete Stair



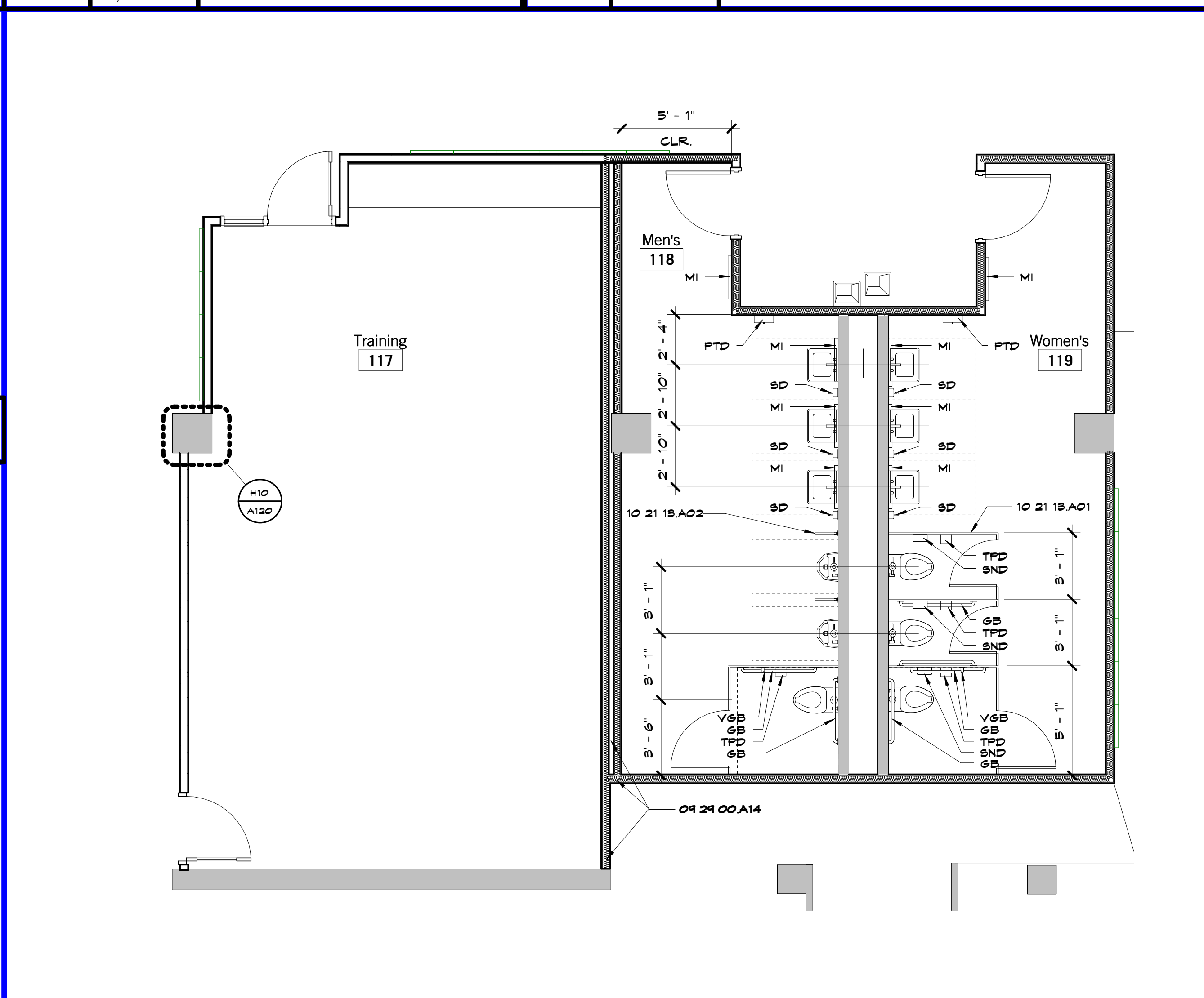
E5 Scale 1/4" = 1'-0" Vertical Circ. Section - Ramp



A1 Scale 3/4" = 1'-0" Section



A5 Scale 1/4" = 1'-0" Vertical Circulation



A10 Scale 1/4" = 1'-0" Enlarged Plan - Conf Room, Women's 107, Men's 108

SHEET KEYNOTE LEGEND

08 80 00 A01	CAST-IN-PLACE CONCRETE
08 80 00 A04	FOAM VOID FILL
08 80 00 A06	REINFORCING BARS
08 82 18 A01	STEEL PIPE AND TUBE RAILINGS
08 24 00 A18	REVEAL TRIM
08 24 00 A14	SOUND ATTENUATION BLANKETS
10 21 18 A01	TOILET COMPARTMENTS
10 21 18 A02	URNAL SCREENS

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Structure # 1320001330

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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

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SHEET KEYNOTE LEGEND

OS B2 18.A01 STEEL PIPE AND TUBE RAILINGS
OS B2 18.A01 REMOVABLE RAILING SECTIONS

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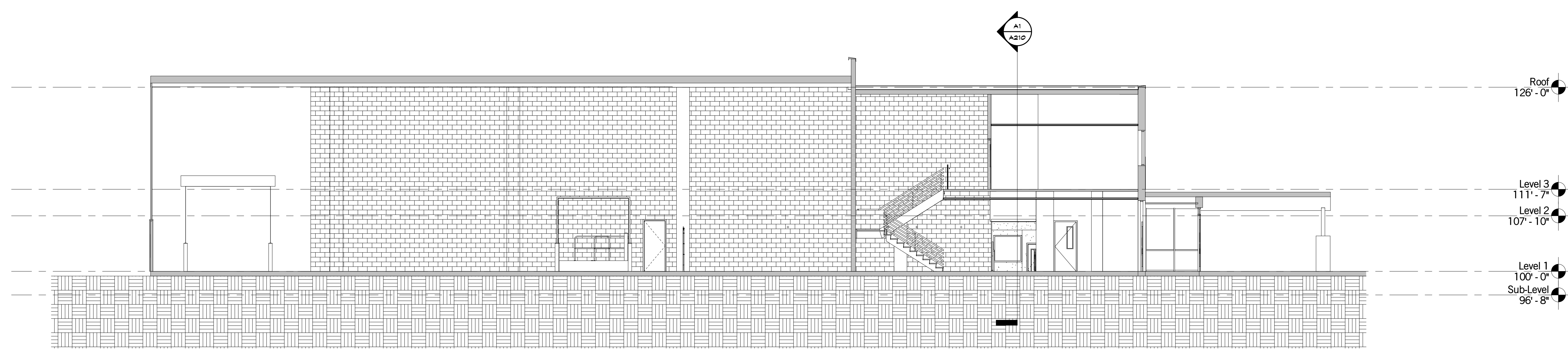
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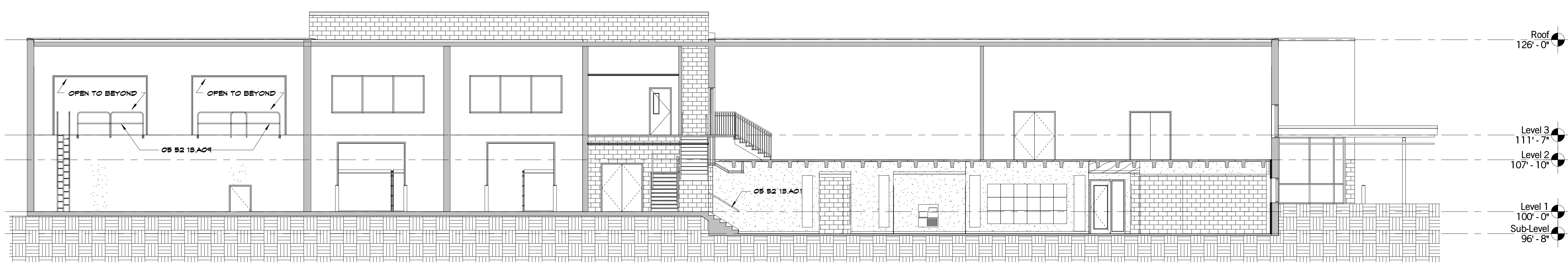
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F1 Scale 1/8" = 1'-0" Building Cross Section - North South



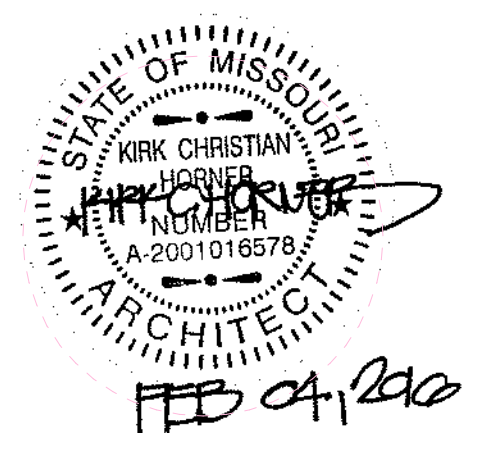
A1 Scale 1/8" = 1'-0" Building Cross Section - East West

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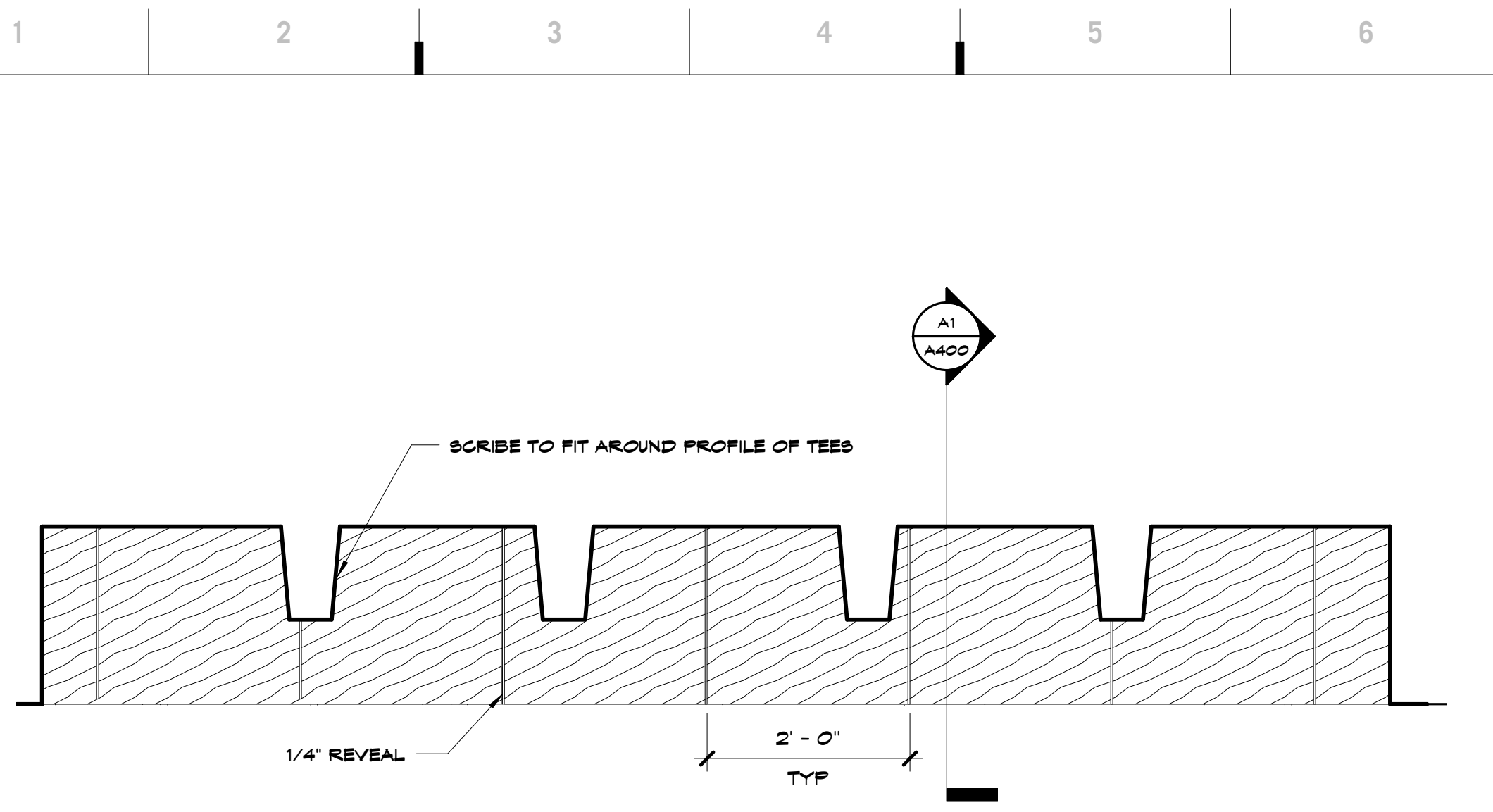
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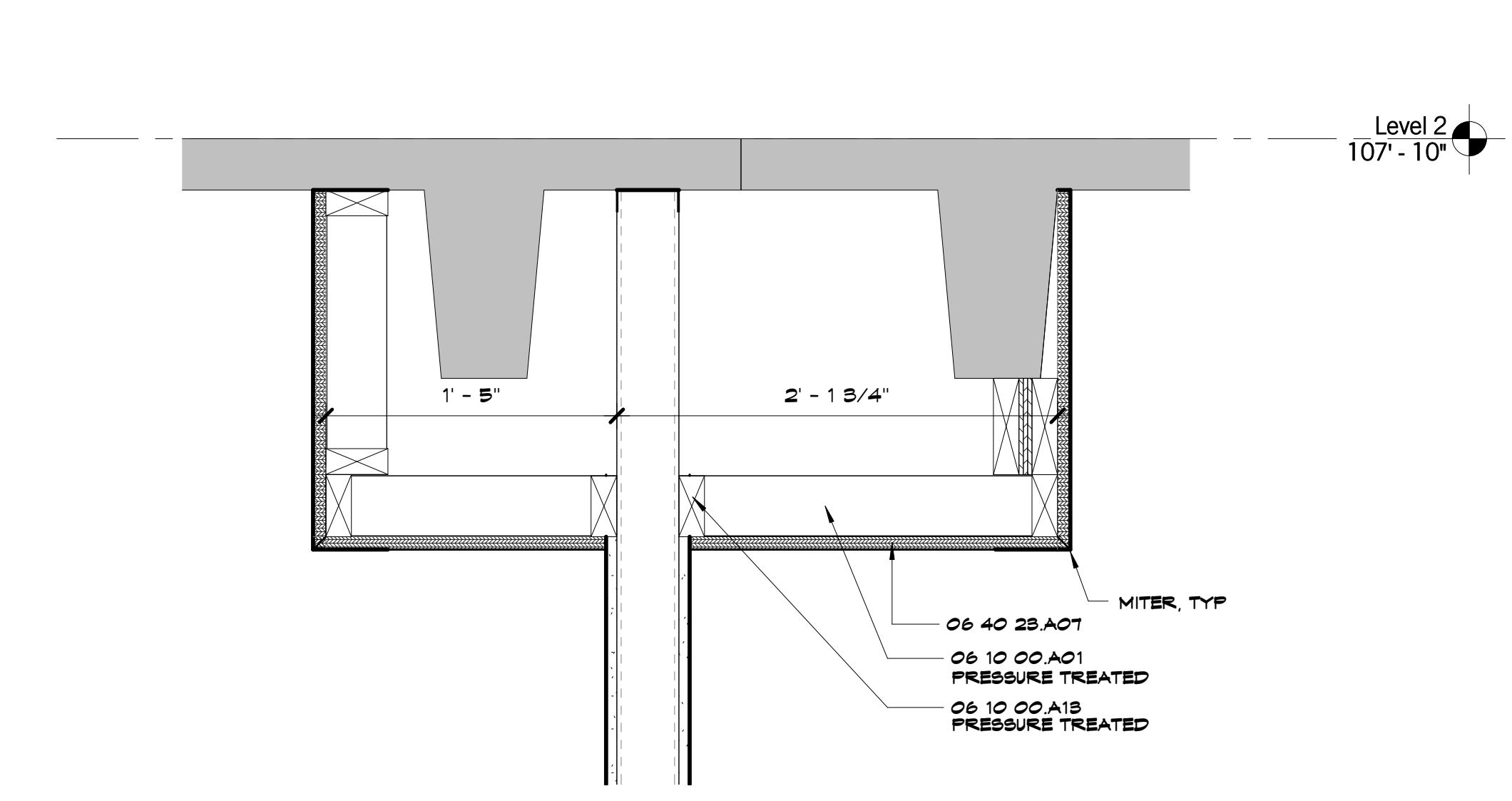
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DRAWN BY: GT
CHECKED BY: JD
DATE: 01.27.2016

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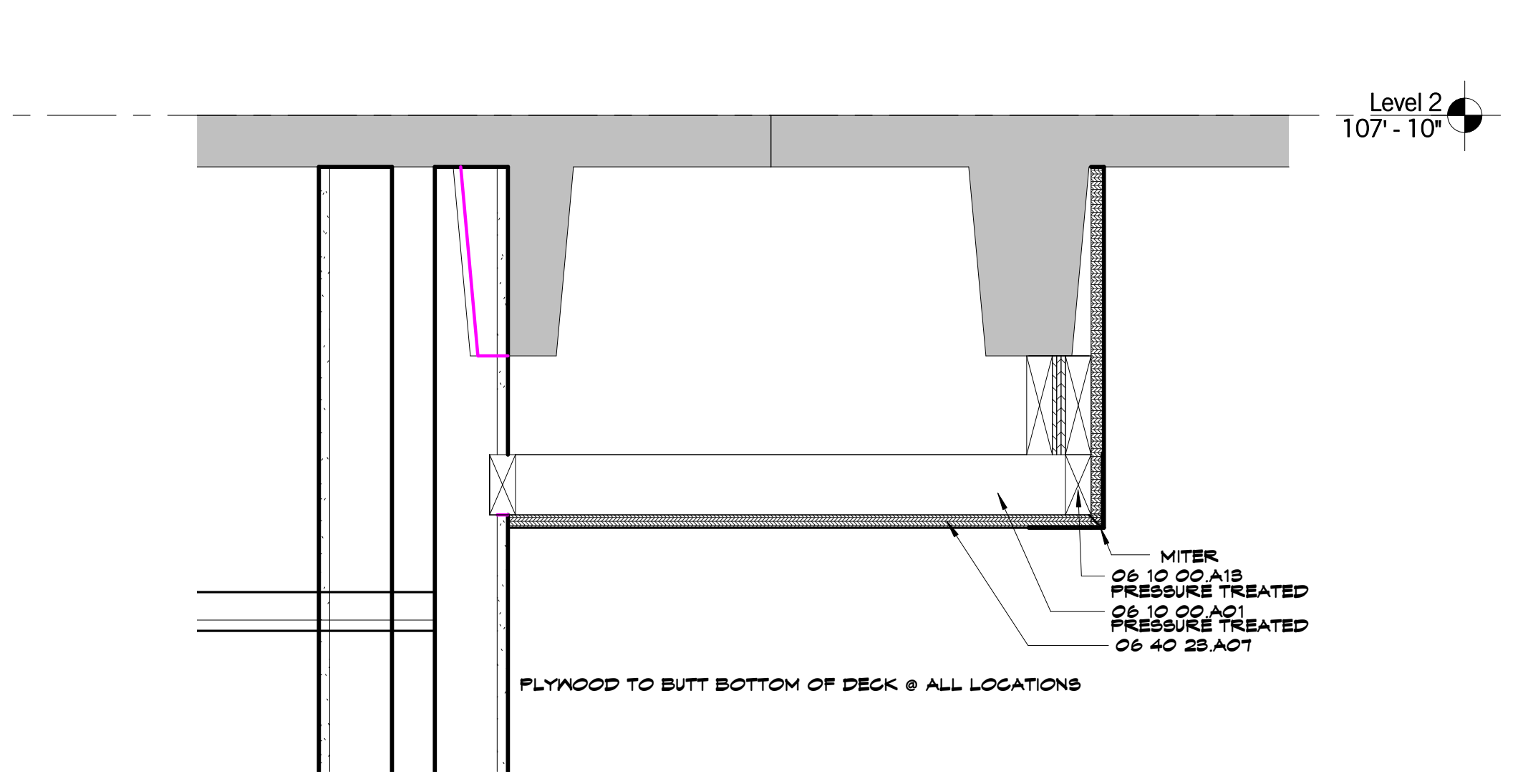
OF
BUILDING SECTIONS



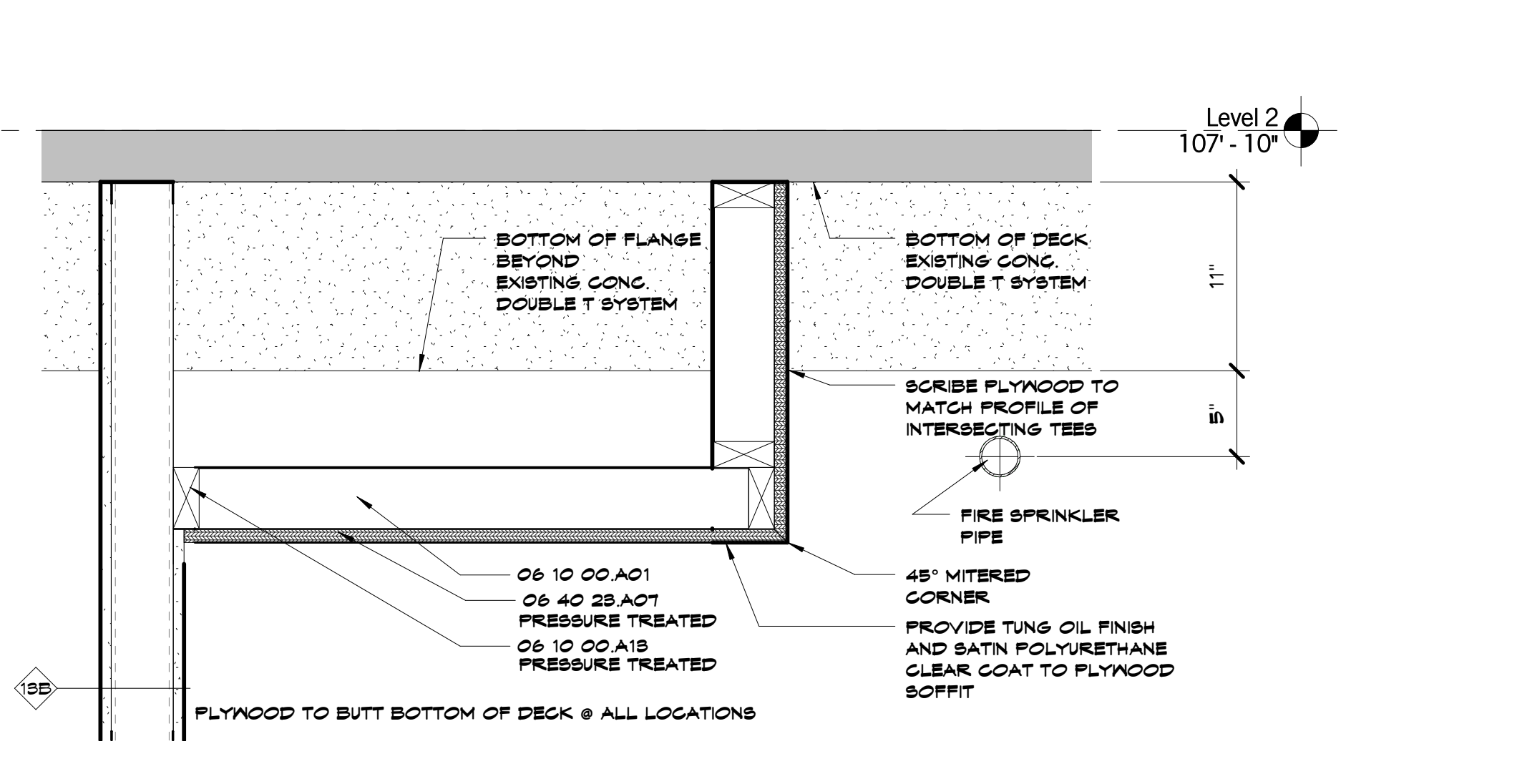
N1 Scale 3/4" = 1'-0" Soffit Elevation



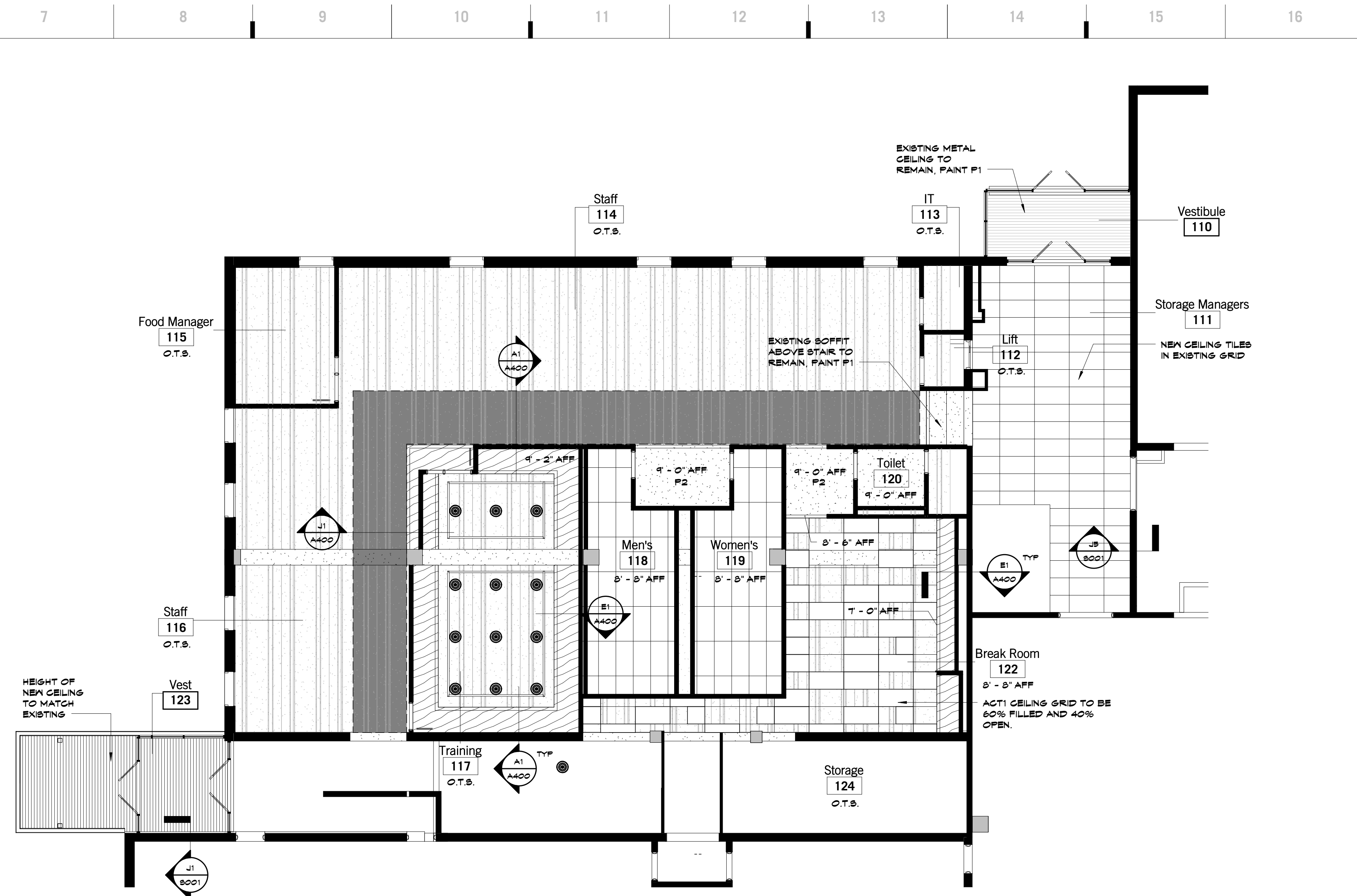
J1 Scale 1 1/2" = 1'-0" Detail Section - Plywood Soffit w/ Offset



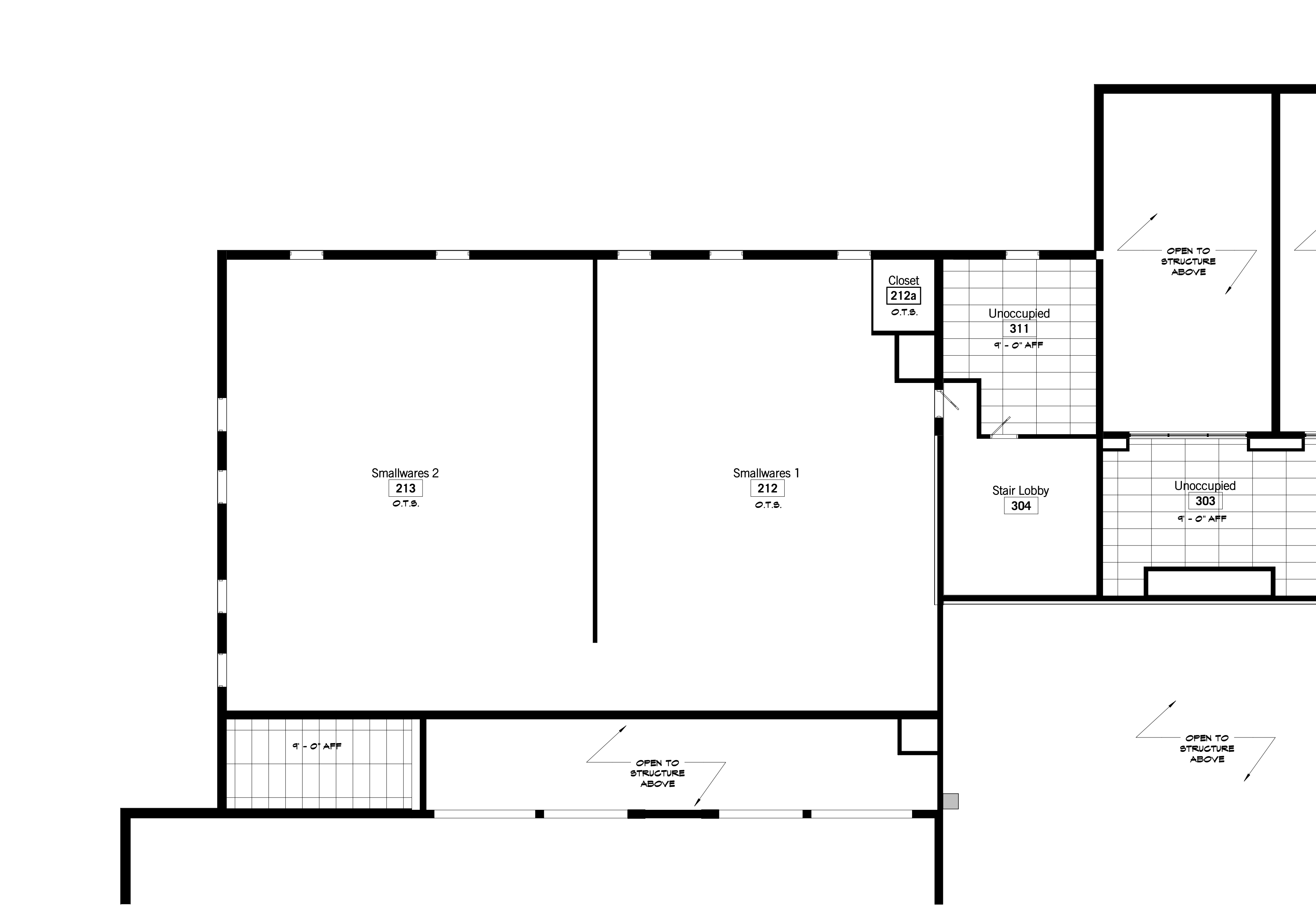
E1 Scale 1 1/2" = 1'-0" Detail Section - Plywood Soffit Parallel w/ Conc. T's



A1 Scale 1 1/2" = 1'-0" Detail Section - Plywood Soffit @ Meeting Room



J7 Scale 1/8" = 1'-0" Reflected Ceiling Plan - Level 1



A7 Scale 1/8" = 1'-0" Reflected Ceiling Plan - Levels 2 & 3

SHEET KEYNOTE LEGEND

- 06 10 00 A01 DIMENSION LUMBER FRAMING
- 06 10 00 A18 WOOD BLOCKING/NAILERS
- 06 40 28 A01 VENEERED PANELS

RCP LEGEND

- ACOUSTICAL LAY-IN CEILING TILE @ GRID - ACT1
- GYP BD
- LIGHT FIXTURE
- MFL PANEL - ACT2
- PLYWOOD - KD1
- EXISTING CEILING TEXTURE EXTENTS
- BASE BID - KNOCK DOWN EXISTING TEXTURE BY SCRAPING, AND COVER ALL EXPOSED CONCRETE DOUBLE TEES IN OF XX XX TEXTURED PAINT, BLENDING IN WITH THESE AREAS. ALTERNATE NO. 1 - SANDBLAST EXISTING TEXTURE AND ANY OTHER PAINTED AREAS TO LEAVE DOUBLE TEES EXPOSED NATURAL CONCRETE FINISH

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Independence School District
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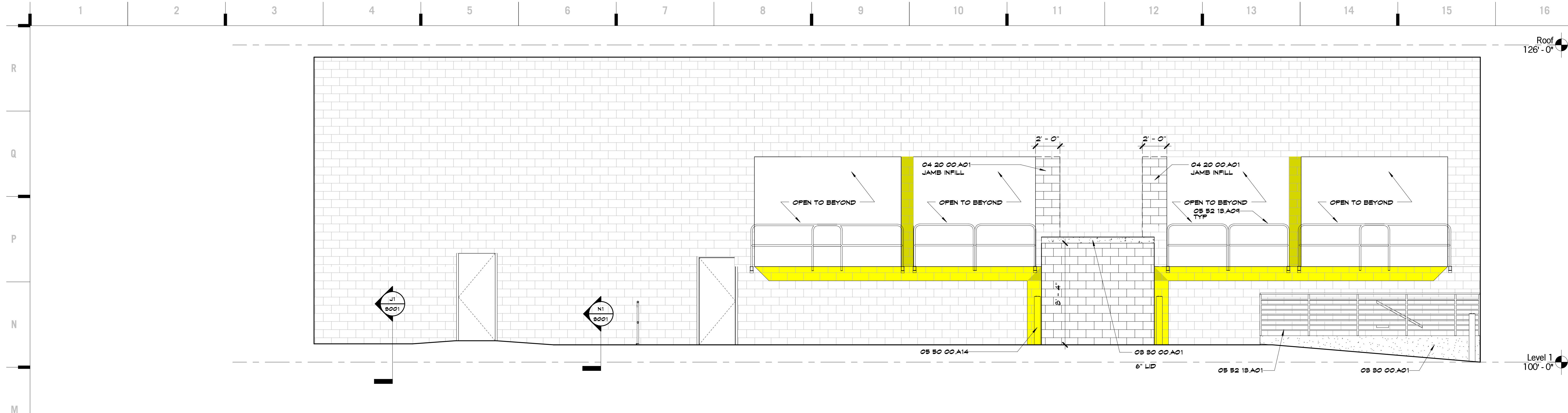
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A400
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SHEET KEYNOTE LEGEND

02 80 00 A01	CAST-IN-PLACE CONCRETE
04 20 00 A01	CONCRETE MASONRY UNITS
05 50 00 A14	BOLLARDS
05 52 18 A01	STEEL PIPE AND TUBE RAILINGS
05 52 18 A04	REMOVABLE RAILING SECTIONS
06 40 28 A01	VENEERED PANELS
01 21 00 A18	REVEAL TRIM
01 88 18 A01	RESILIENT BASE
01 77 28 A01	FABRIC-WRAFFED PANELS
12 82 00 A01	PLASTIC LAMINATE FACED CABINETS
12 82 00 A04	SOLID SURFACING COUNTERTOPS

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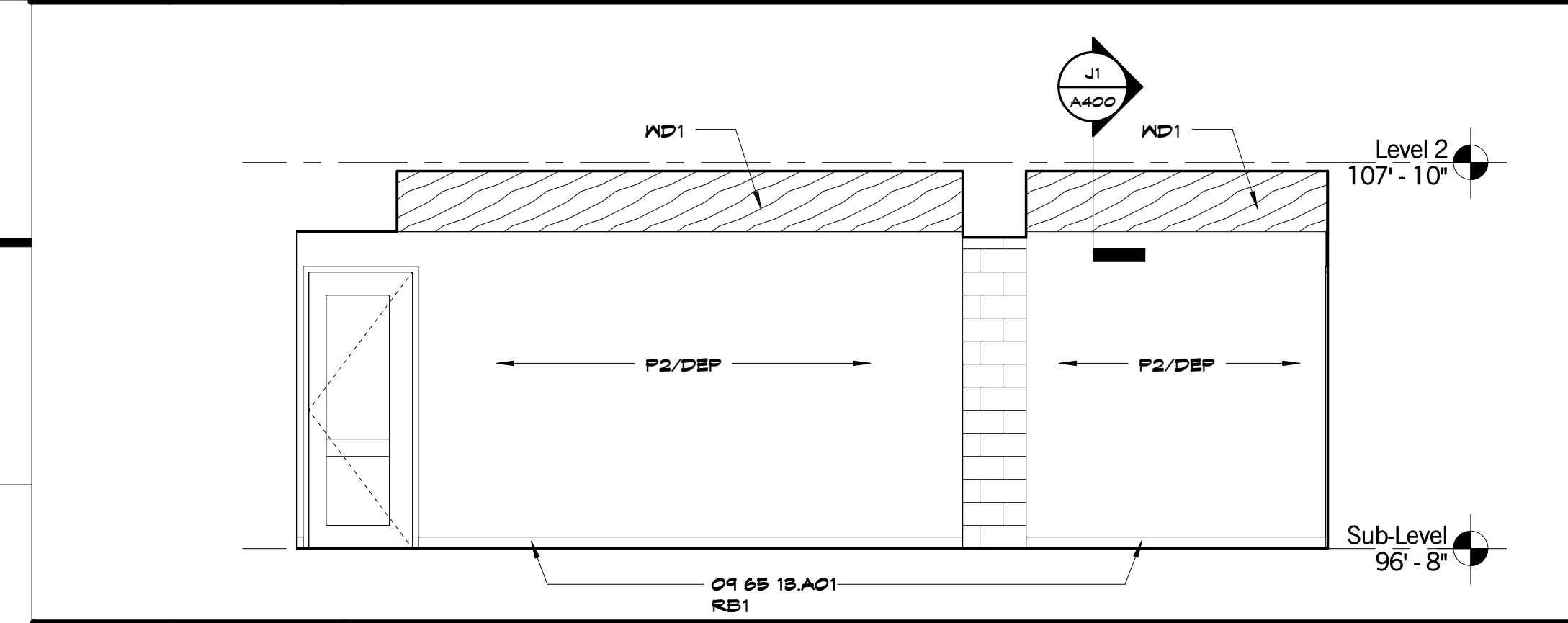
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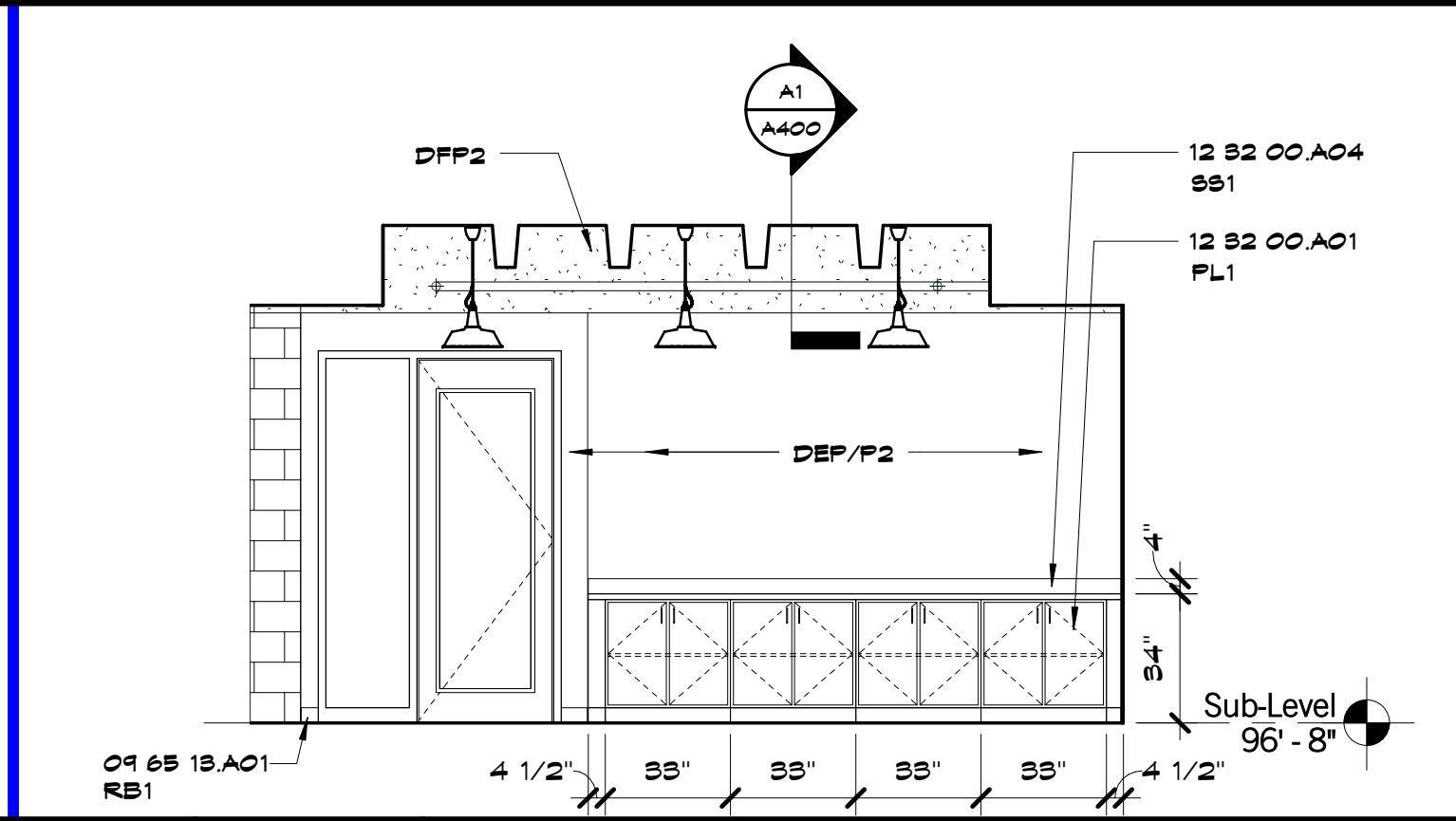
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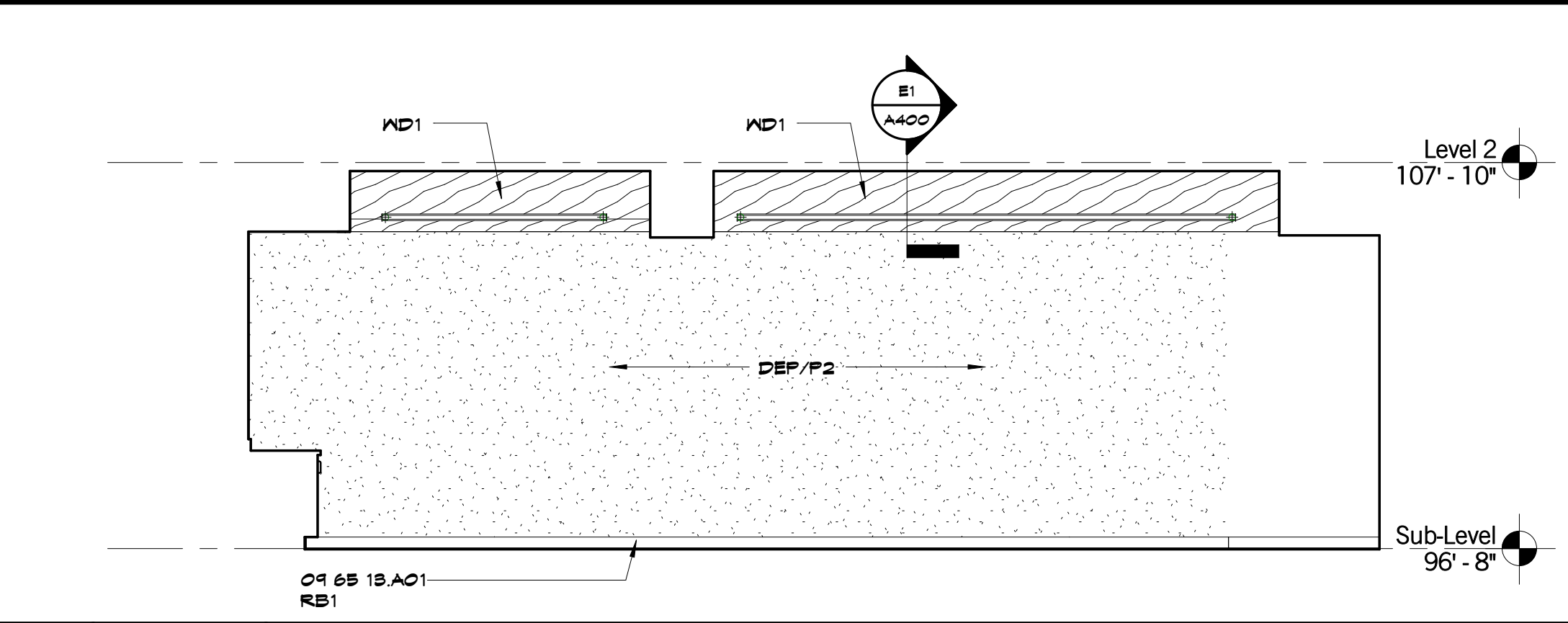
M1 Scale Interior Elevation - S106 Food Storage 2 - N
1/4" = 1'-0"



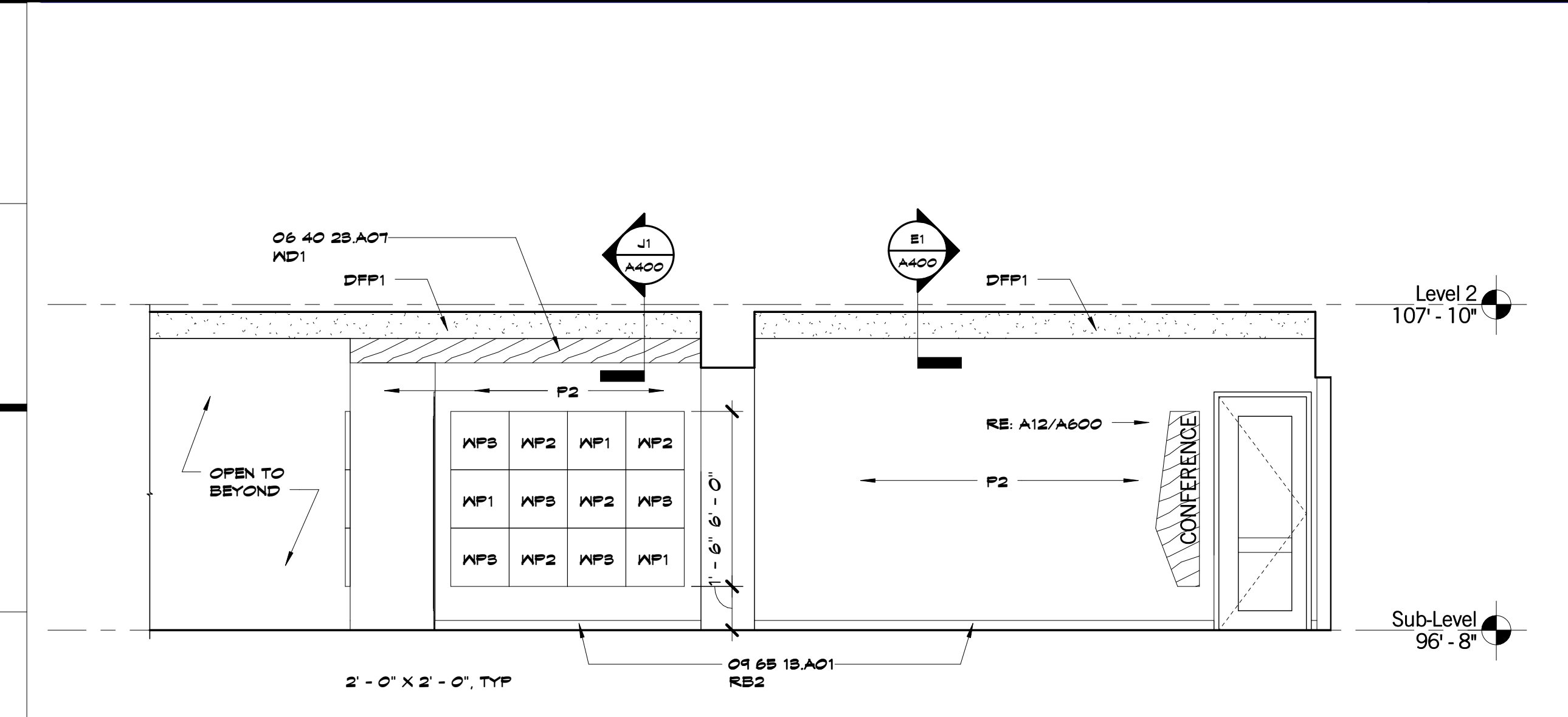
J1 Scale Interior Elevation - 117 Training - W
1/4" = 1'-0"



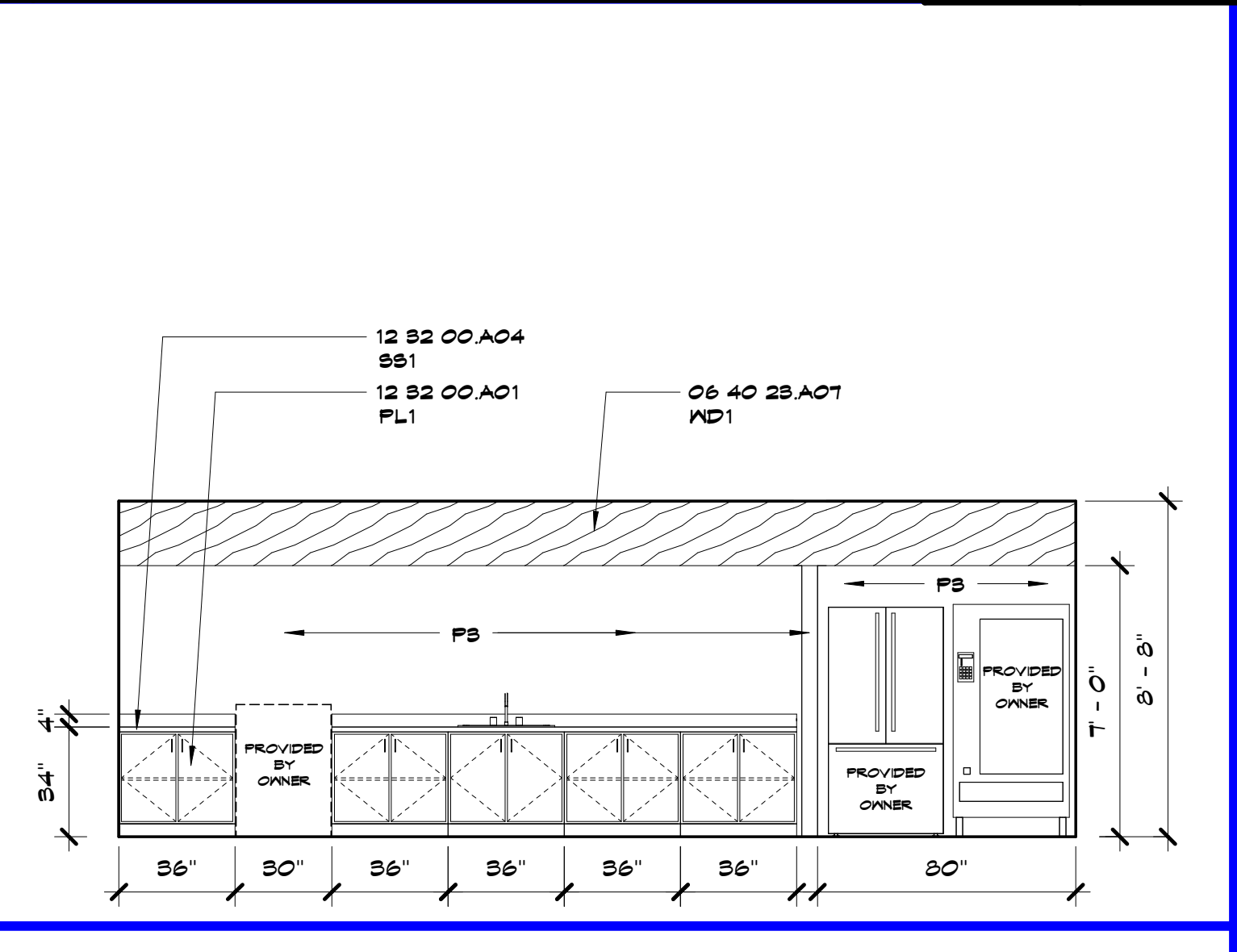
J7 Scale Interior Elevation - 117 Training - N
1/4" = 1'-0"



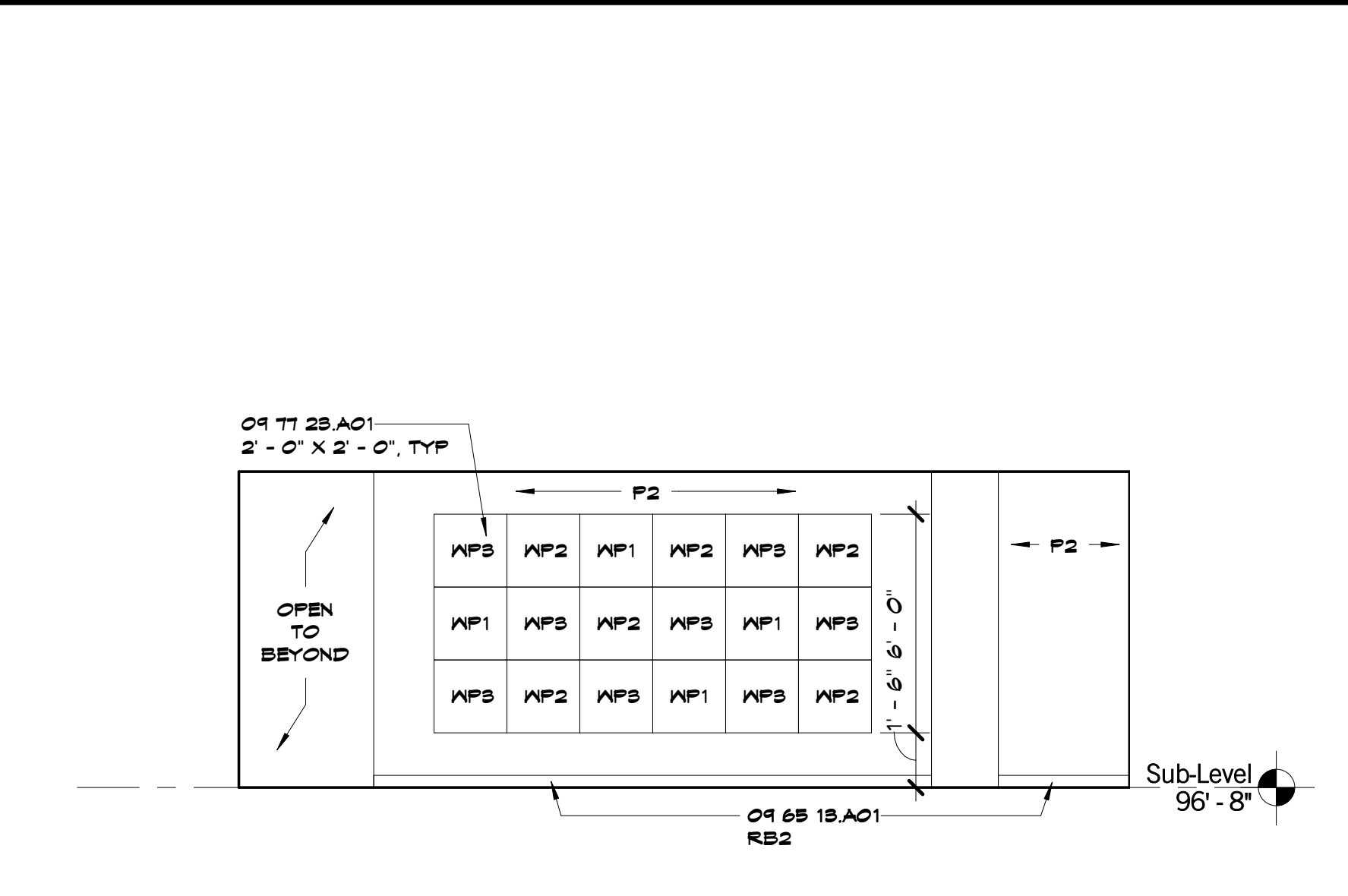
J11 Scale Interior Elevation - 117 Training - E
1/4" = 1'-0"



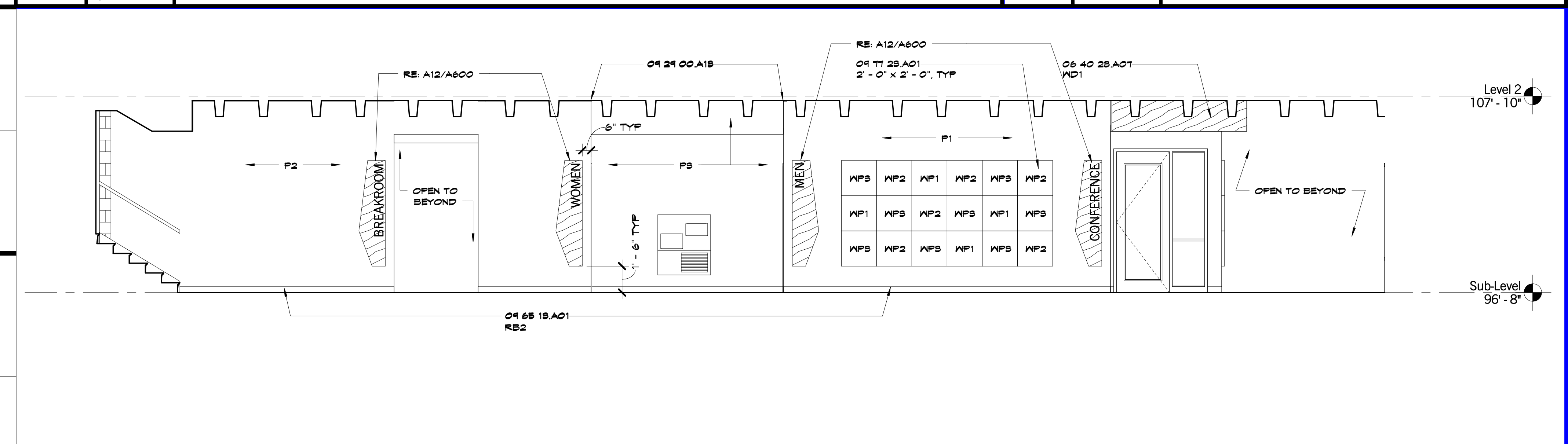
E1 Scale Interior Elevation - East Wall Outside of Training 117
1/4" = 1'-0"



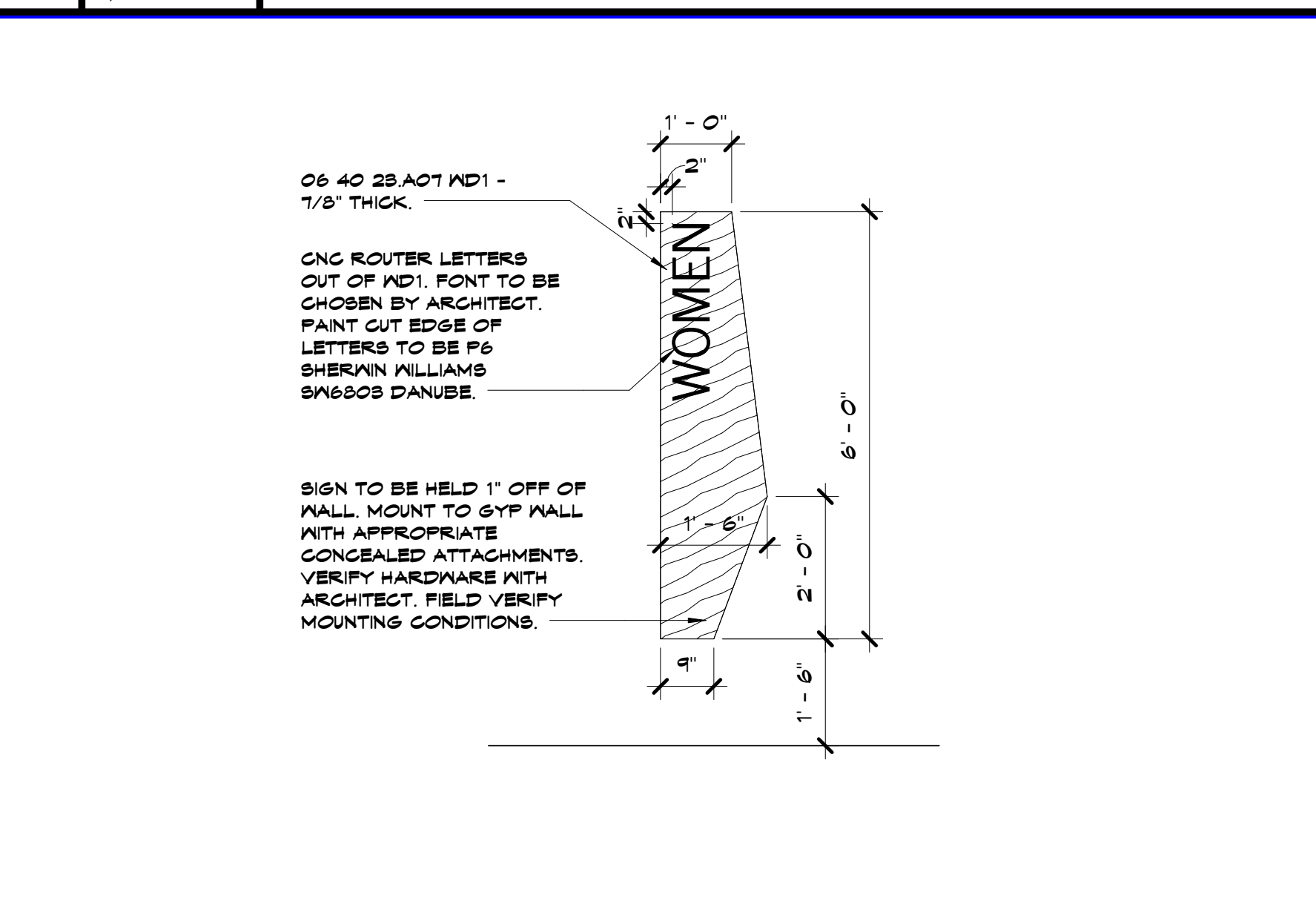
E8 Scale Interior Elevation - 122 Break Room - E
1/4" = 1'-0"



E12 Scale Interior Elevation - 122 Break Room - W
1/4" = 1'-0"



A1 Scale Interior Elevation - 114 Staff - N
1/4" = 1'-0"



A12 Scale Room Signage
1/2" = 1'-0"

- CASEWORK NOTES**
- ALL EXPOSED VERTICAL TO RECEIVE PLASTIC LAMINATE.
 - PROVIDE 4" BACKSLASH UNLESS NOTED OTHERWISE.
 - PROVIDE 1" OVERHANG AT ALL COUNTERTOPS UNLESS NOTED OTHERWISE.
 - DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF STUD. PLASTER OR HAS BLOCK. FIELD VERIFY ALL DIMENSIONS TO FACE OF FINISH PRIOR TO CONSTRUCTION.
 - CASEWORK CONTRACTOR TO COORDINATE WITH PLUMBING CONTRACTOR ON PIPING LOCATIONS.
 - ALL BASE CABINETS ARE TO BE 24" DEEP UNLESS NOTED OTHERWISE.
 - ALL COUNTERS TO BE 991.

District Warehouse Phase #2
Independence School District
14001 East 32nd Street
Independence, MO 64055

REVISIONS:

#	Description	Date



JOB NO: 15078
DRAWN BY: GT
CHECKED BY: JD
DATE: 01.27.2016

A600

Grid lines 1-17 and A-B. Building Code, Design Loads, Concrete, Reinforcing, Masonry, Structural Steel, Steel Deck, Post installed Anchors. Wood, Miscellaneous.

ABBREVIATIONS

Table of abbreviations: A (above finish floor), AFF (additional floor), ALT (alternate), ARCH (architect), ANCH (anchor rod), BLDG (building), BM (beam), BOT (bottom), BRG (bearing), BTWN (between), C (compression), CANT (cantilever), CLR (clear), CL (center line), CLP (cast in place), CJP (control joint), CJP (complete joint penetration), COL (column), CMU (concrete masonry unit), CONC (concrete), CONCT (construction joint), CONT (continuous), D (bar diameter), DBA (deformed bar anchor), DTL (detail), DIA (diameter), DIM (dimension), DLD (dead load), DSN (down), DNG (drawing), DNL (dowel), E (elastic load), EI (modulus of elasticity), EA (each), EBF (each face), EXP JT (expansion joint), ELEV (elevation), ENGR (engineer), EQ (equal), EX (each way), EXIST (existing), EXT (exterior), F (field), FB (field bend), FD (floor drain), FF (finish floor), FN (finish), FND (foundation), FLR (floor), FTG (footing), FS (far side), FV (field verify), G (grade), GA (grage), GB (grage beam), GALV (galvanized), H (horizontal), HBA (headed stud anchor), HSB (hollow structural section), HT (height), I (inside face), INT (interior), JBT (joint), JT (joint), K (kip), KIP (kip), KSI (kip per square inch), L (angle), LL (live load), LLD (development length), LLA (double angle), LLBB (long leg back to back), LLLV (long leg vertical), LWT (light weight), M (maximum), MECH (mechanical), MEPE (mechanical/electrical/plumbing), MEZZ (mezzanine), MFR (manufacturer), MIN (minimum), MIR (mirror), MISG (miscellaneous), N (not in contract), NS (near side), NTS (not to scale), NWT (normal weight), OF (outside face), OC (on center), OPNG (opening), OPP (opposite), PAP (powder actuated fastener), PC (precast), PCF (pounds per cubic foot), PEN (penetration), PL (plate), PLF (pounds per linear foot), PPF (pounds per square foot), PSL (pounds per square inch), PTL (point load), R (radius), RE (reference), RENF (reinforcement or reinforcing), REQD (required), REV (revision), RTU (roof top unit), S (snow load), SC (slip critical), SCHED (schedule), SECT (section), SHT (sheet), SIM (similar), SPA (spacing), SPEC (specification), SQ (square), STD (standard), STP (stiffener), STL (steel), SYM (symmetrical), T (thickness), TEN (tension), THRD (threaded rod), TOP (top of), TOC (top of concrete), TOB (top of masonry), TOV (top of wall), TYP (typical), U (unless noted otherwise), UNO (unless noted otherwise), V (vertical), VAR (varies), VERT (vertical), W (distributed load), WL (wind load), WP (work point), WT (weight), WWR (welded wire reinforcing), Y (cubic yard).

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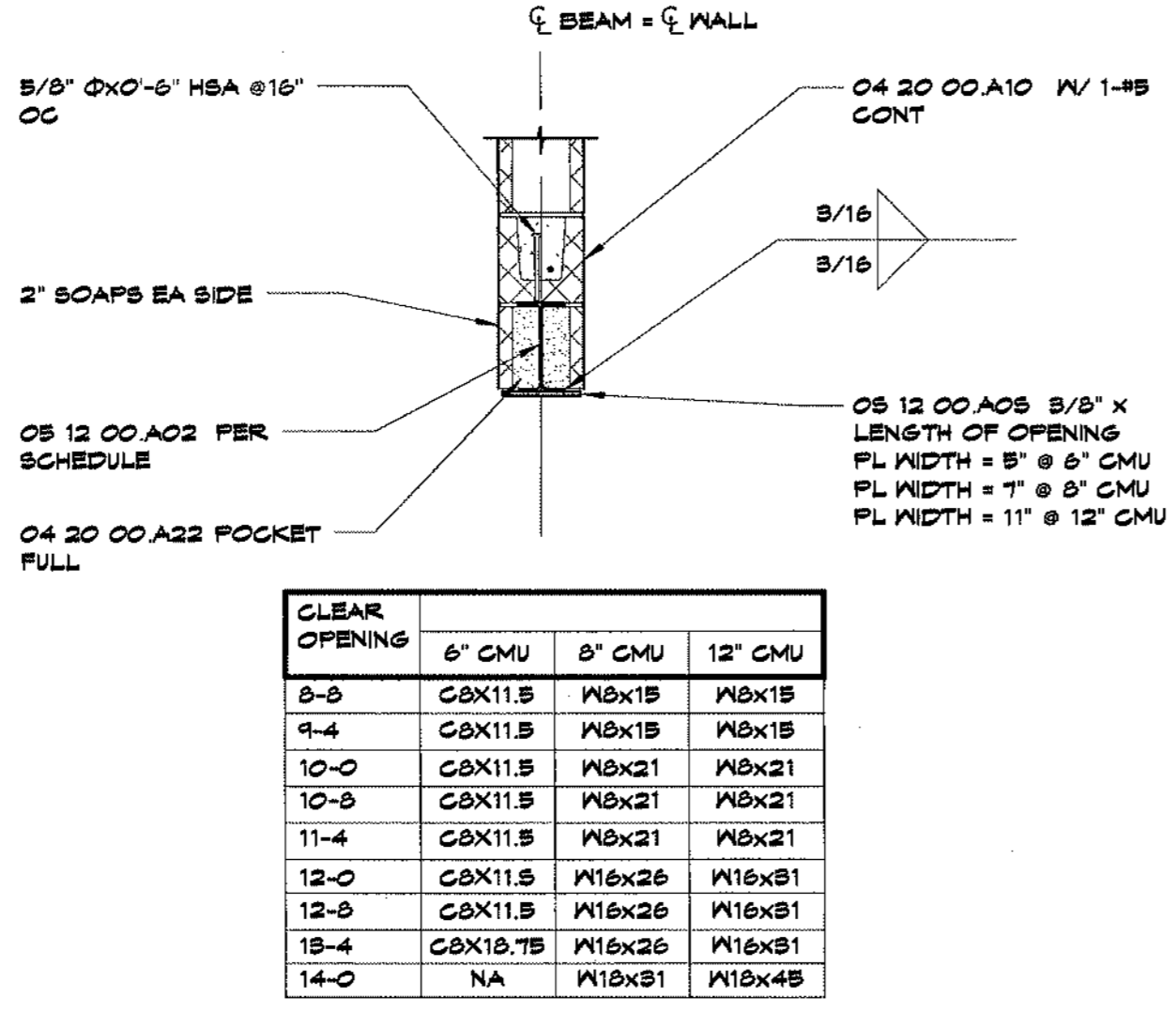
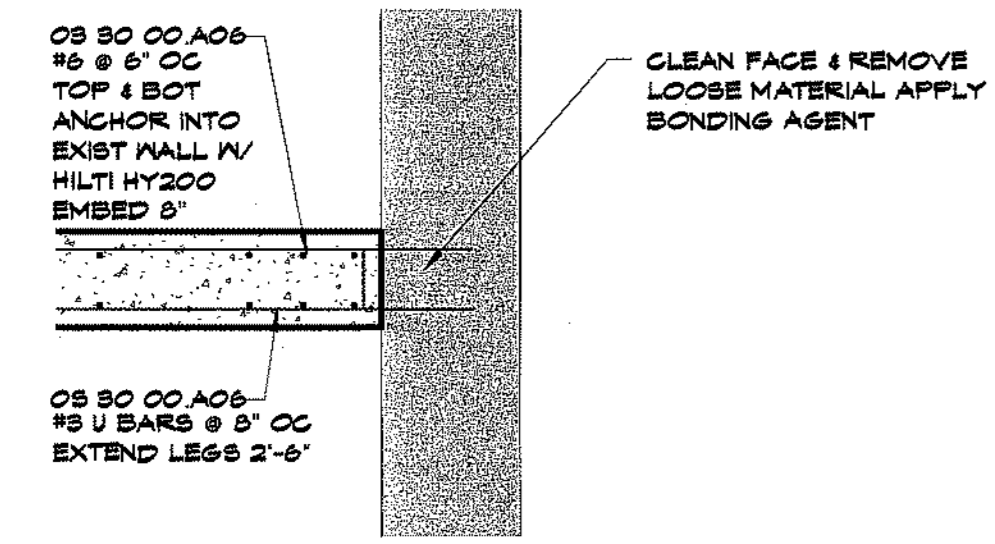
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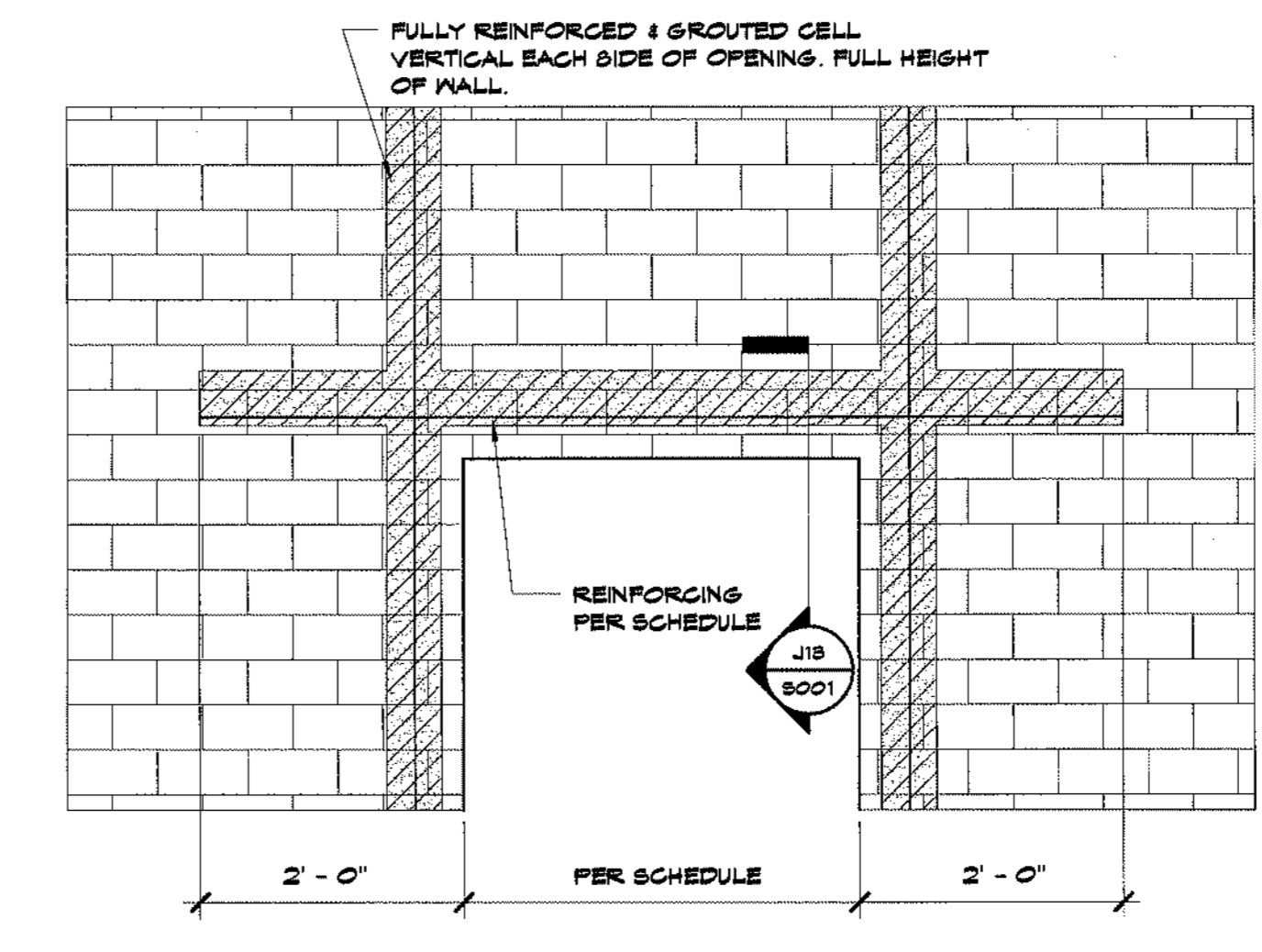
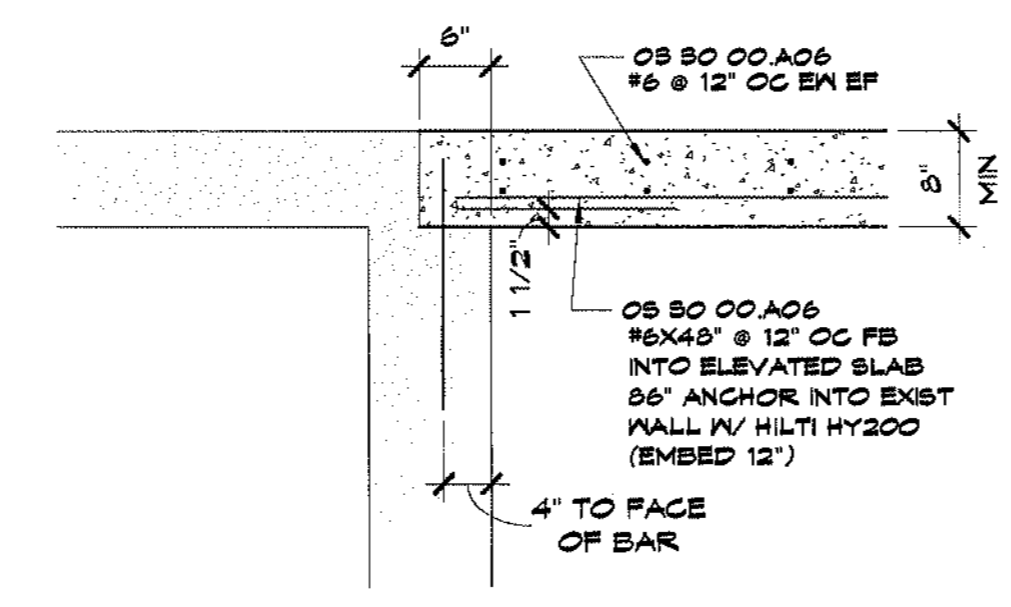
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0-4	OS 11.5	M8x18	M8x18
10-0	OS 11.5	M8x21	M8x21
11-4	OS 11.5	M8x21	M8x21
12-0	OS 11.5	M16x26	M16x31
12-6	OS 11.5	M16x26	M16x31
18-4	OS 10.75	M16x26	M16x31
14-0	NA	M16x31	M16x45



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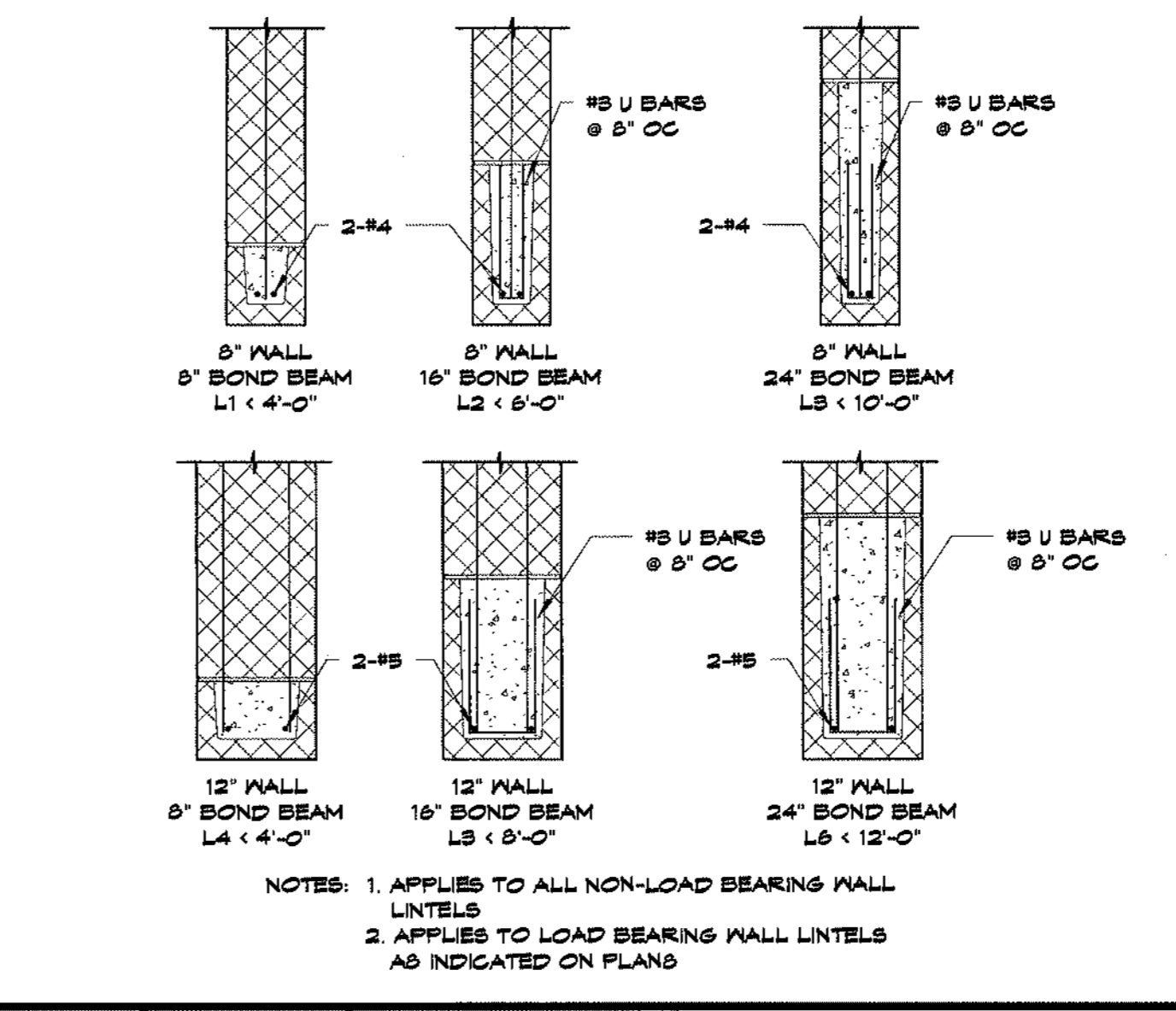
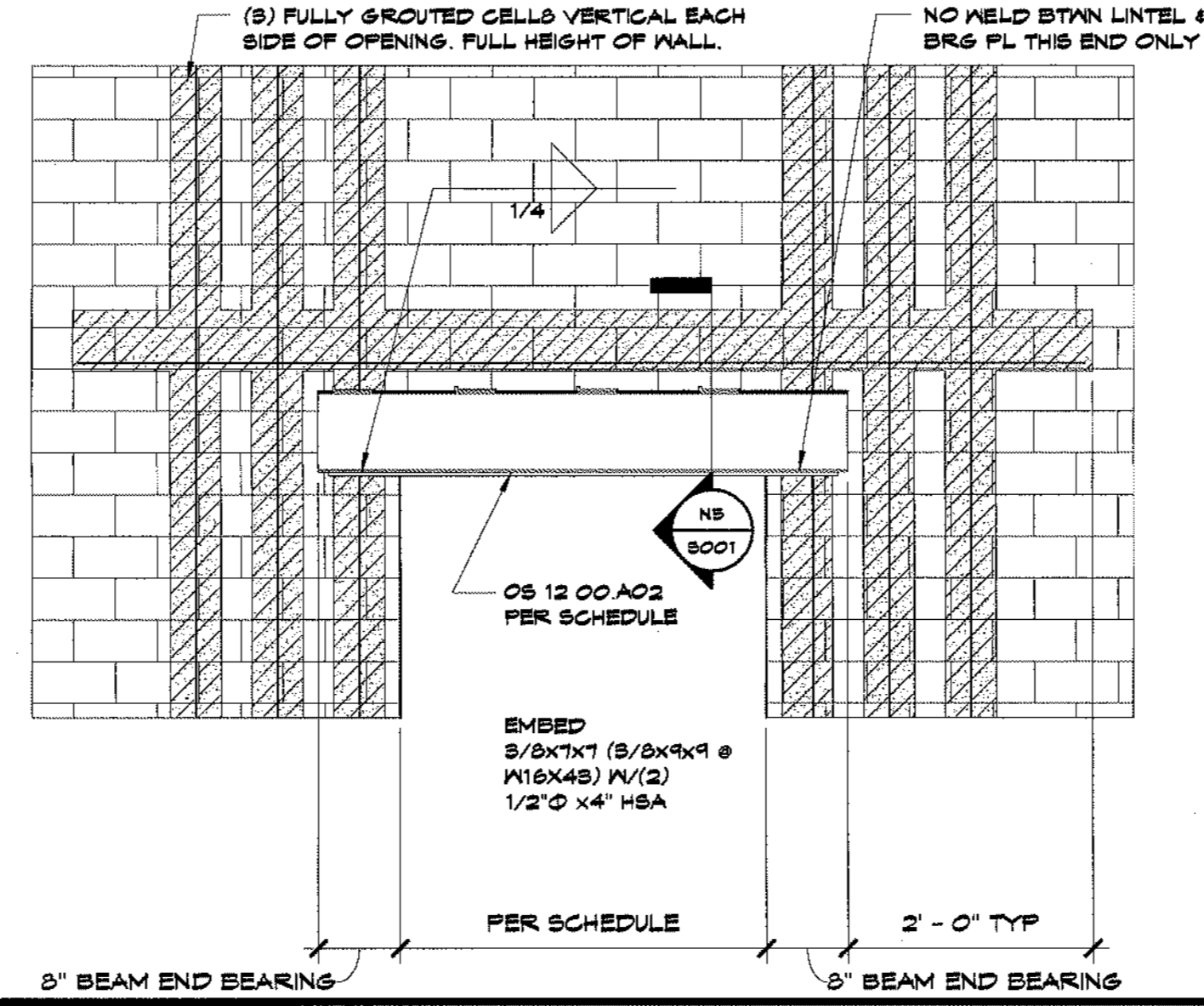
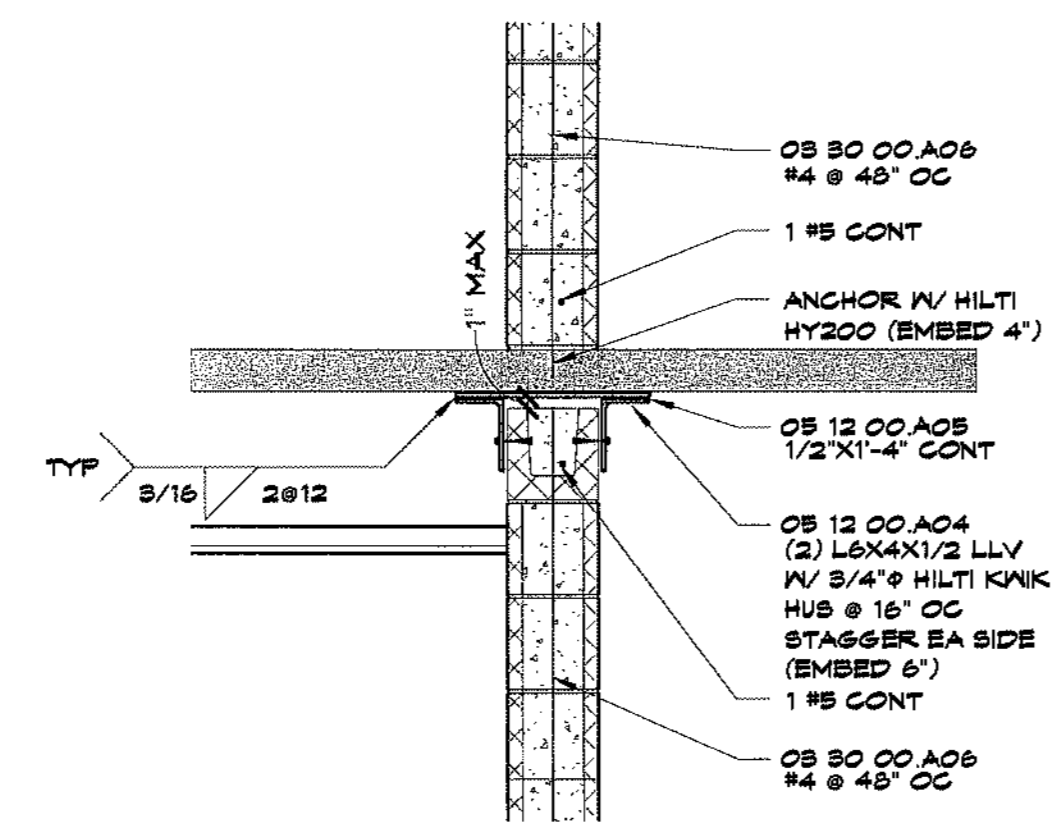
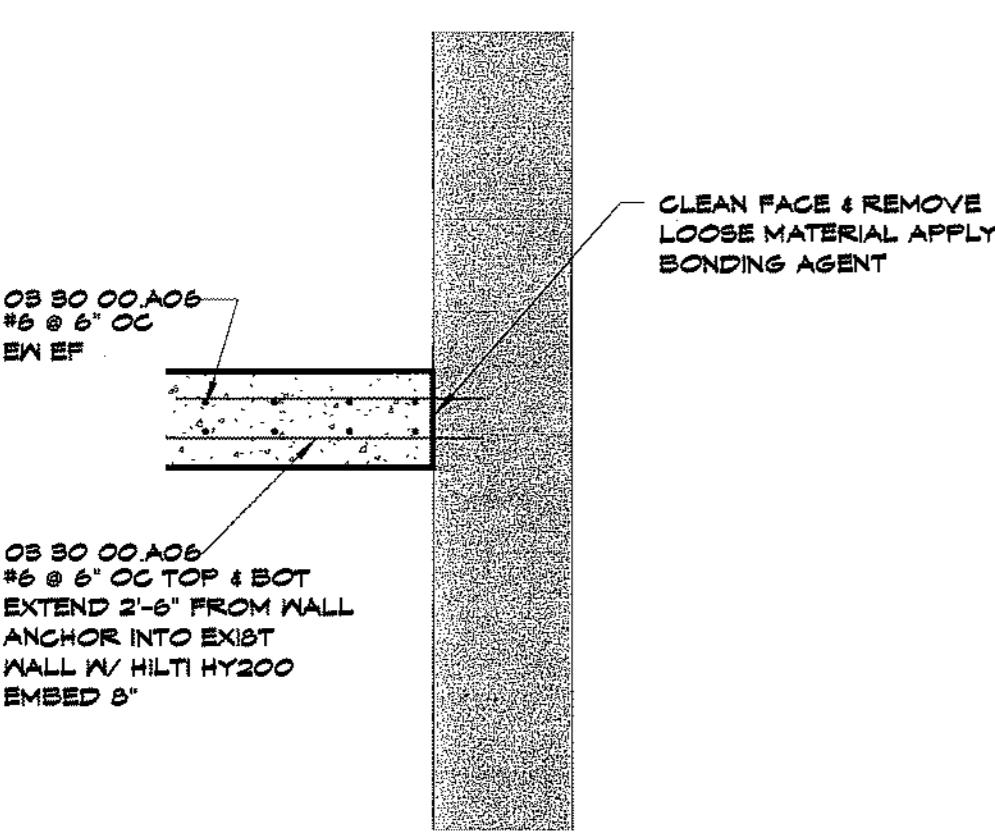
OS 30 00 A01	CAST-IN-PLACE CONCRETE
OS 30 00 A06	REINFORCING BARS
OS 20 00 A10	MASONRY LINTELS (SITE CAST)
OS 20 00 A22	GROUT
OS 12 00 A02	W SHAPE
OS 12 00 A03	ANGLE
OS 12 00 A04	PLATE
OS 12 00 A05	GOLD-FORMED HSS
OS 21 00 A01	STEEL JOIST
OS 31 00 A01	ROOF DECK

N1 Scale Section
3/4" = 1'-0"

N5 Scale Section
3/4" = 1'-0" Typical Steel Beam Lintel Section Interior

N9 Scale Section
3/4" = 1'-0"

N13 Scale Section
3/4" = 1'-0" Typical Bond Beam Lintel Partial Elevation

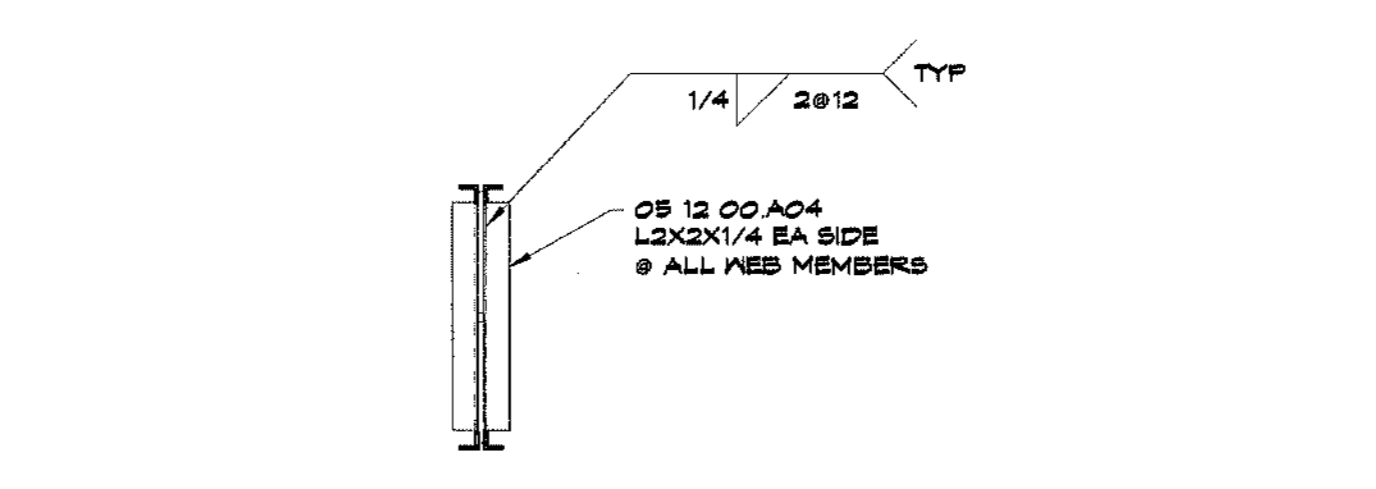
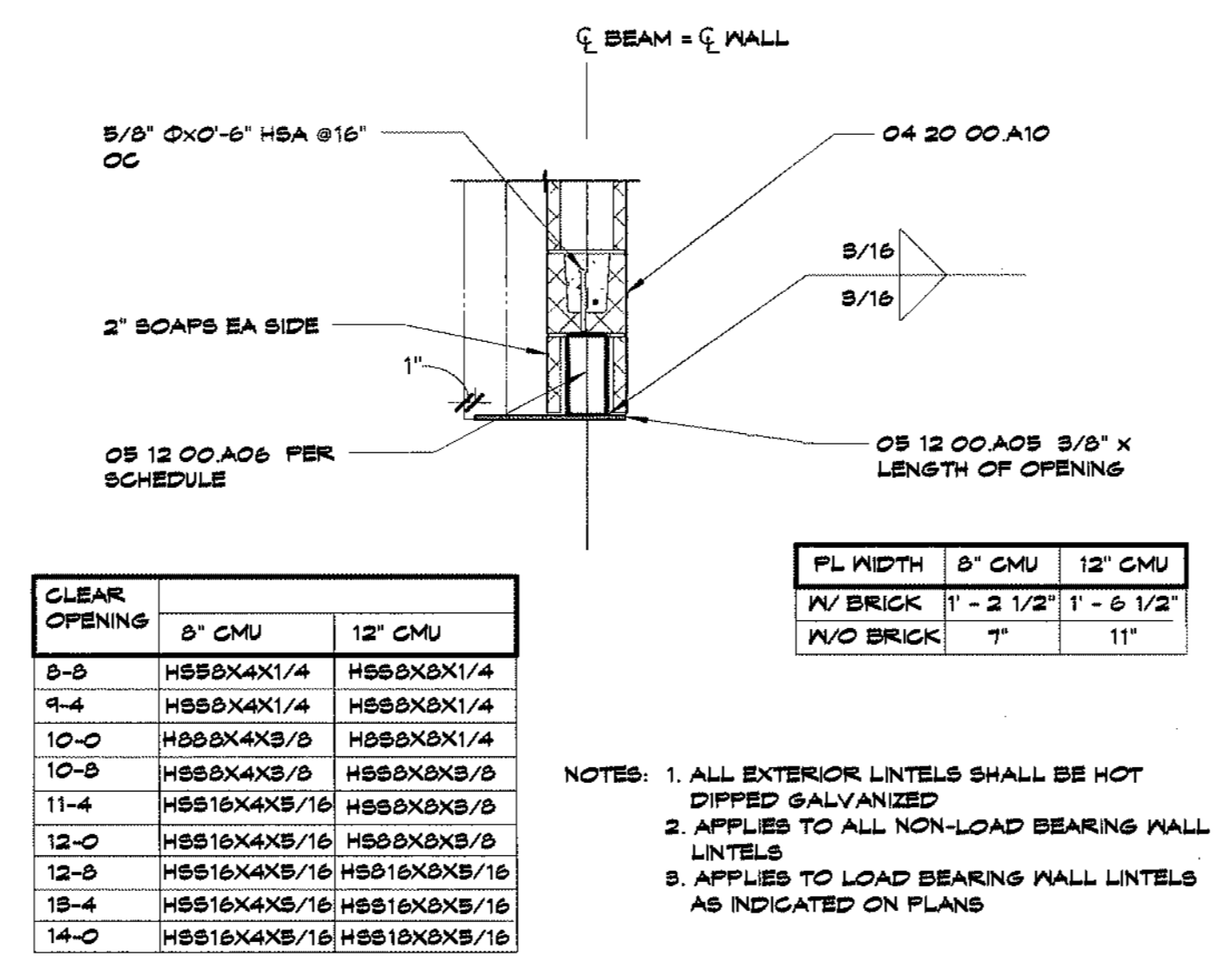
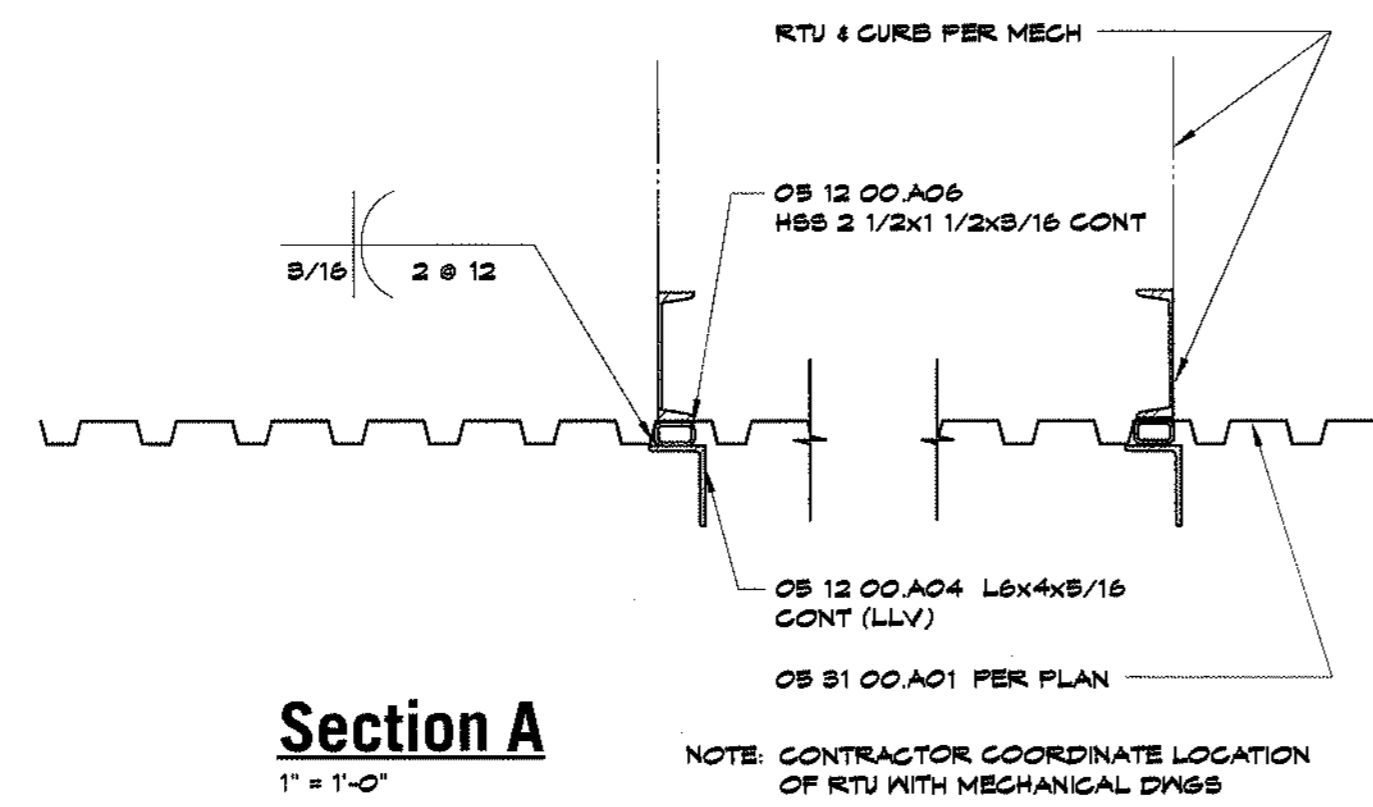
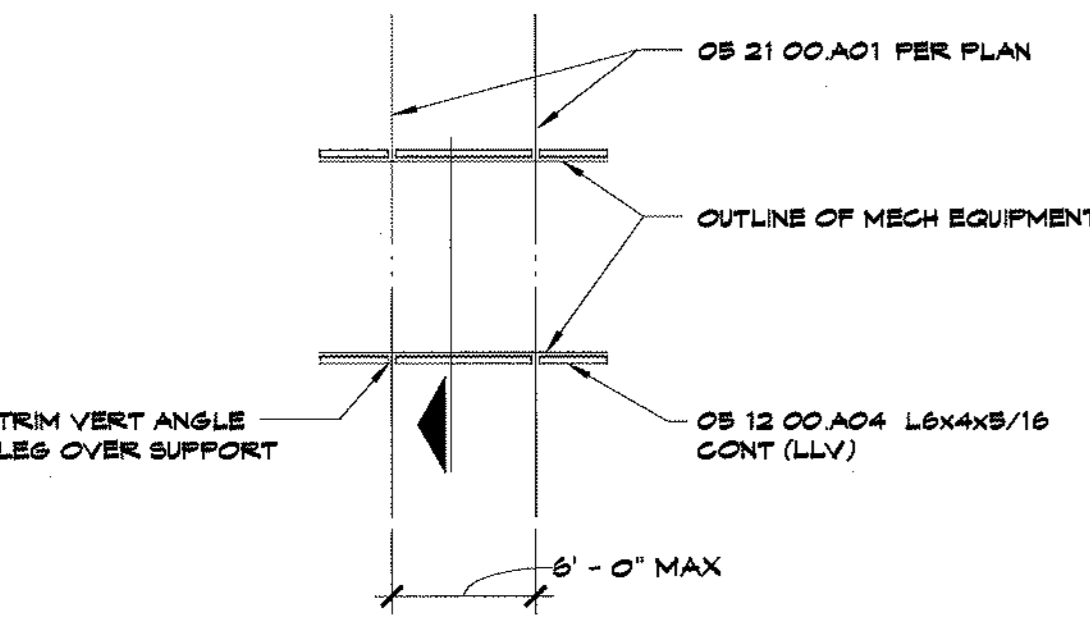


J1 Scale Section
3/4" = 1'-0"

J5 Scale Section
3/4" = 1'-0"

J9 Scale Section
3/4" = 1'-0" Typical Steel Beam Lintel Partial Elevation Interior

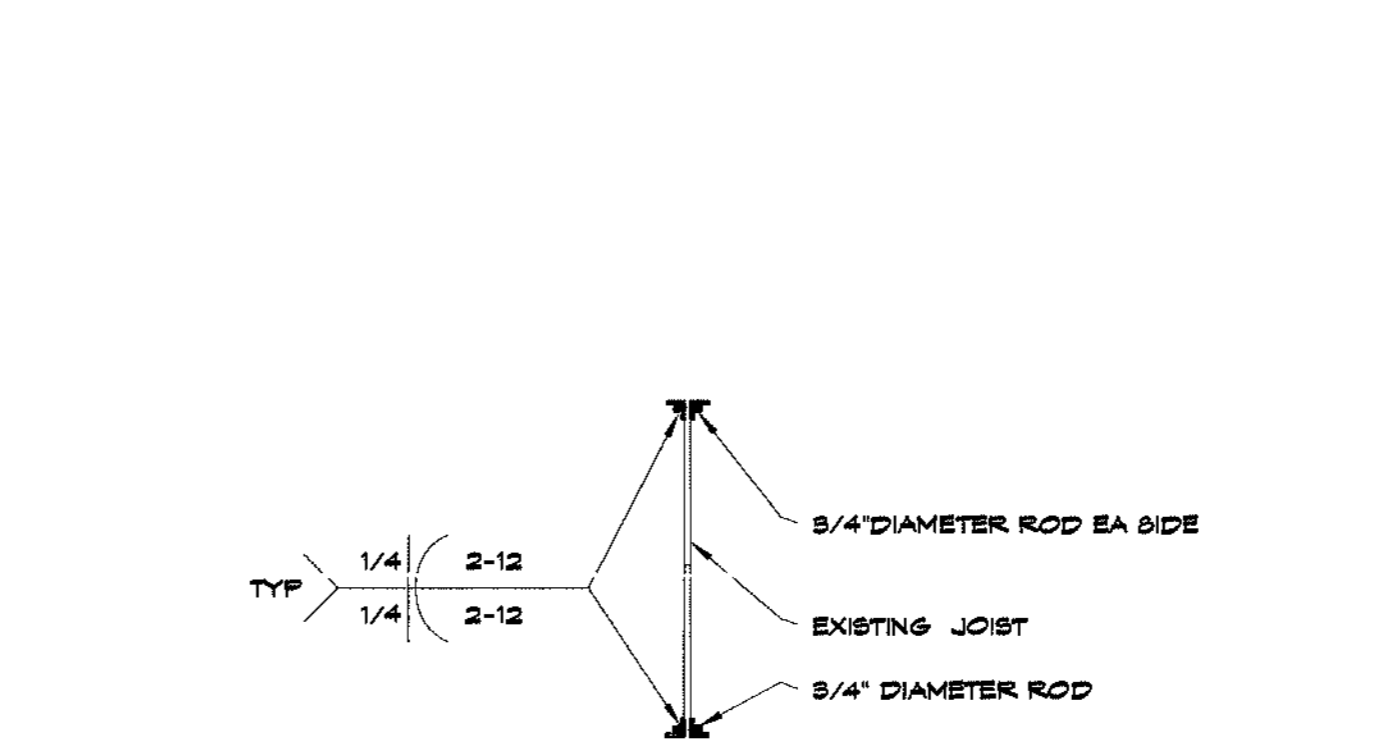
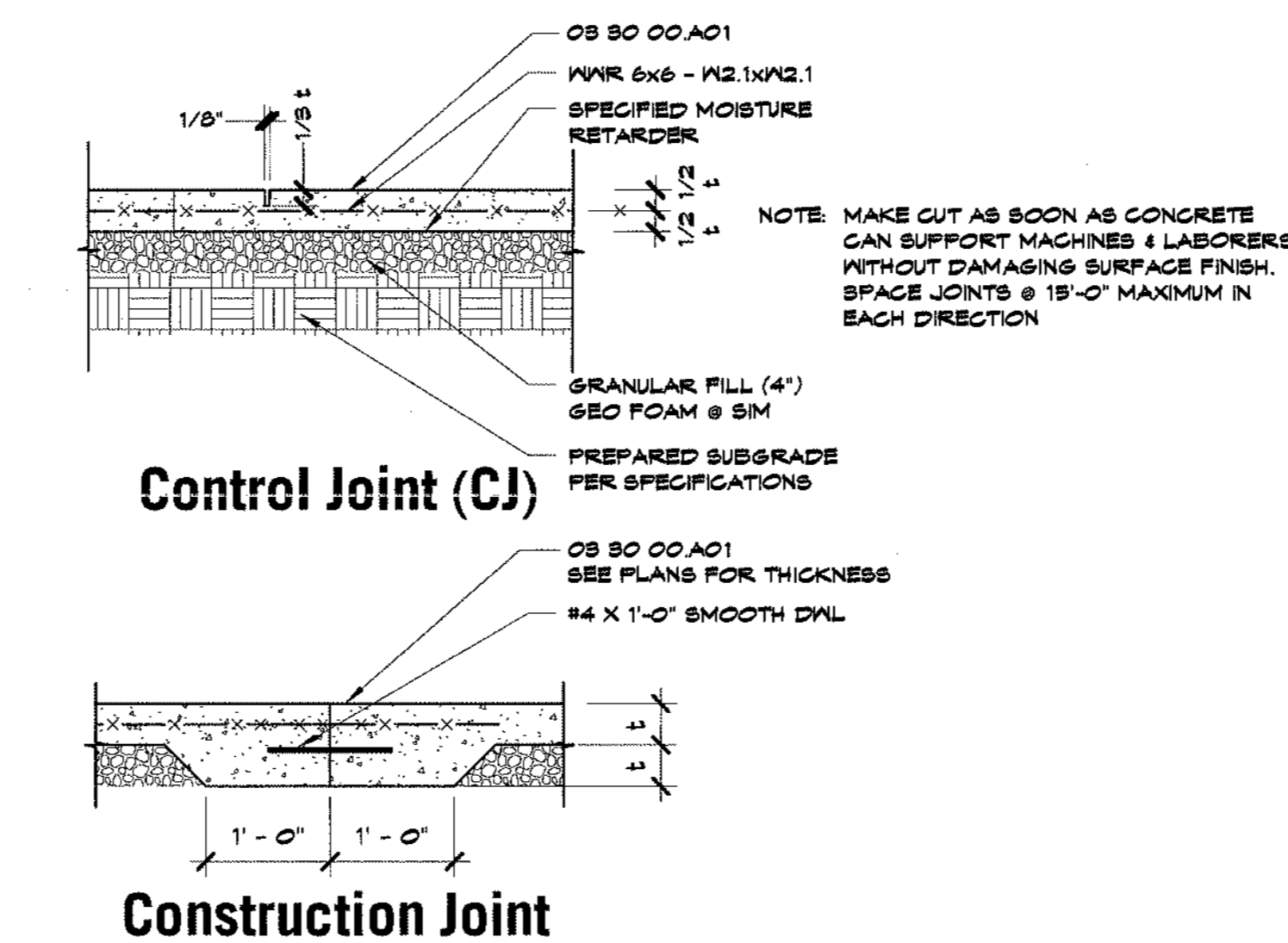
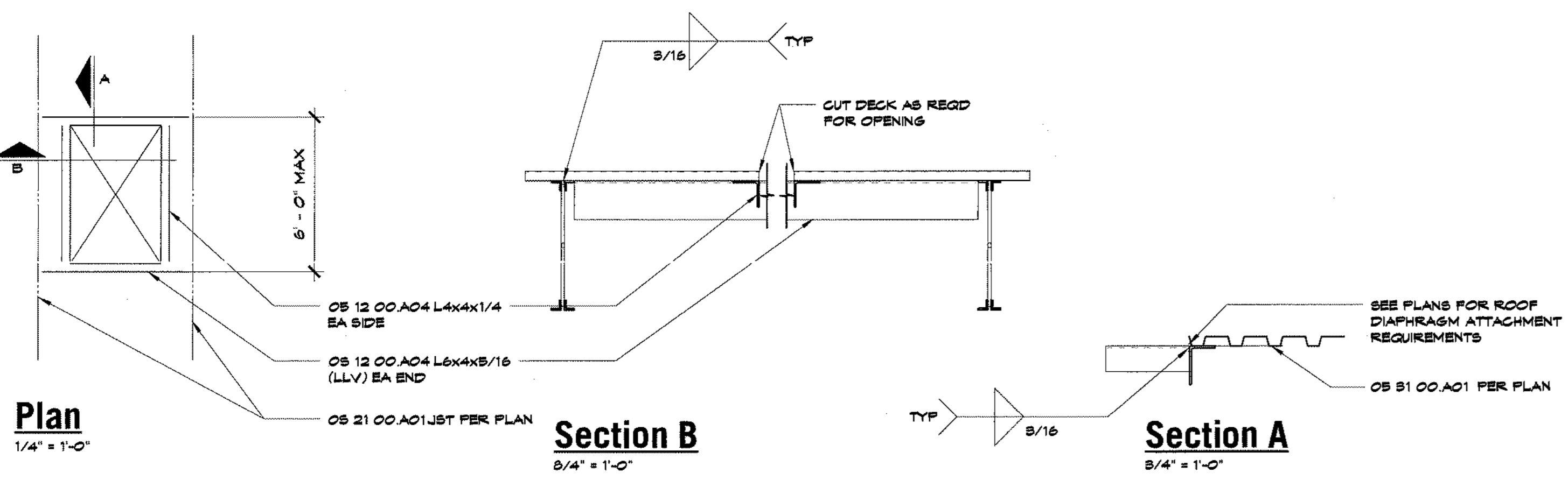
J13 Scale Section
3/4" = 1'-0" Typical Bond Beam Lintel Section



E1 Scale Section
1/8" = 1'-0" Typical RTU Support Framing - Plan

E9 Scale Section
3/4" = 1'-0" Typical OS Beam Lintel Section Exterior

E13 Scale Section
3/4" = 1'-0" Joist Web Reinforcement Detail



A1 Scale Section
1/4" = 1'-0" Typical Roof Opening Framing - Plan

A9 Scale Section
3/4" = 1'-0" Typical Slab on Grade Details

A13 Scale Section
3/4" = 1'-0" Joist Chord Reinforcement Detail

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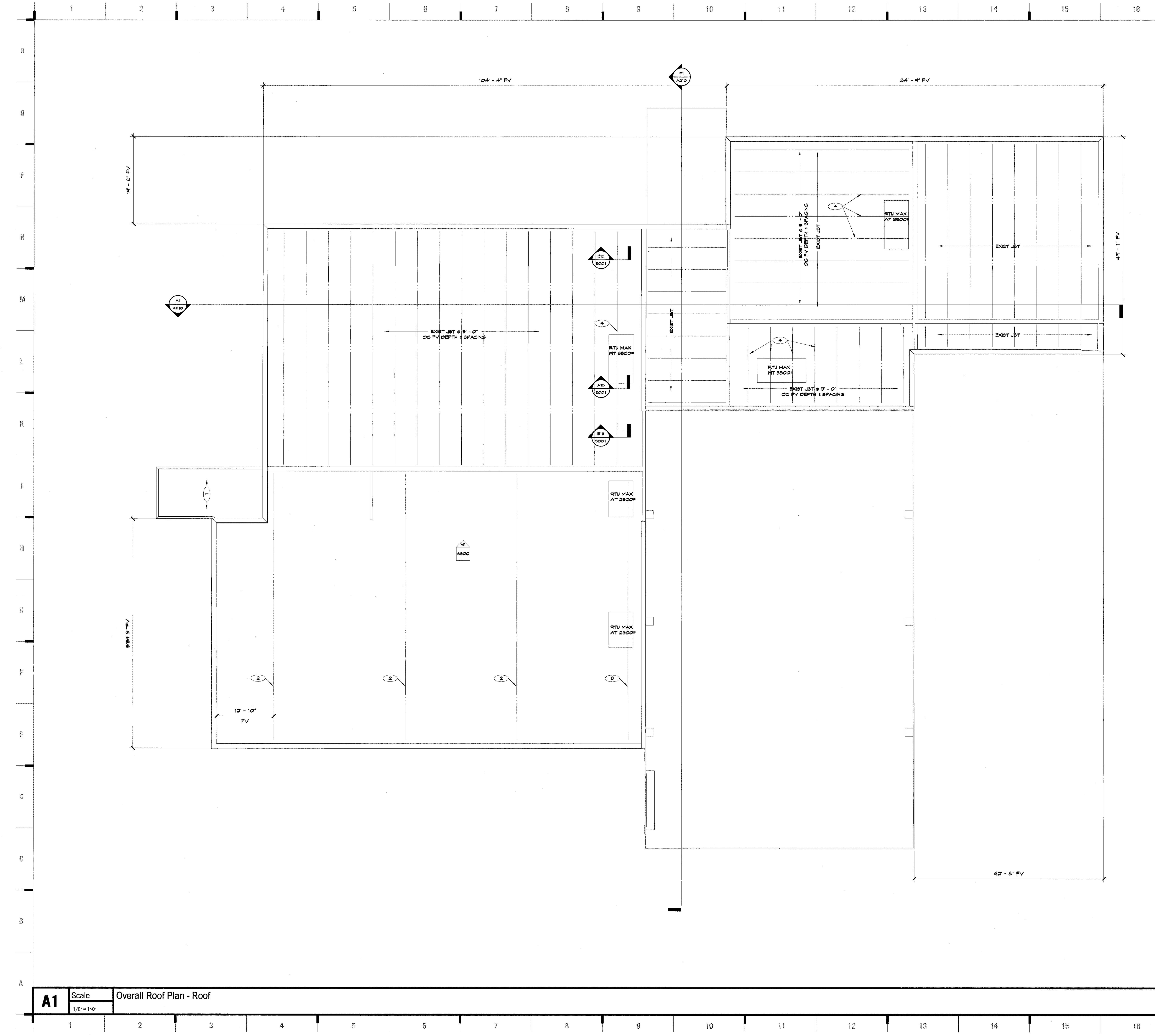
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SECTIONS

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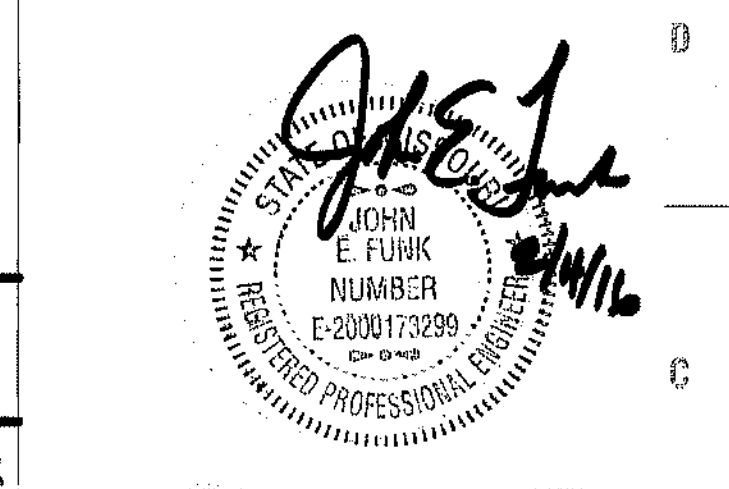
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PLAN REFERENCE NOTES

- 1 2" DEEP X 20 GAGE GALVANIZED (G60) ACOUSTICAL METAL ROOF DECK. ATTACH TO SUPPORTING STEEL STRUCTURE TO TRANSFER SLOPE MINIMUM HORIZONTAL DIAPHRAGM SHEAR
- 2 REPAIR EXISTING GULLIAM BEAM AS REQUIRED. CONTRACTOR TO EMPLOY LICENSED ENGINEER TO PROVIDE INSPECTION AND REMEDIATION
- 3 REINFORCE GULLIAM FOR ADDITIONAL LOADING. CONTRACTOR TO EMPLOY LICENSED ENGINEER TO PROVIDE INSPECTION AND REMEDIATION
- 4 REINFORCE EXISTING JOIST A18/8001 APPLIES TO THE CENTER 1/2 OF JOIST SPAN AND E18/8001 APPLIES TO THE END 1/2 OF THE SPAN

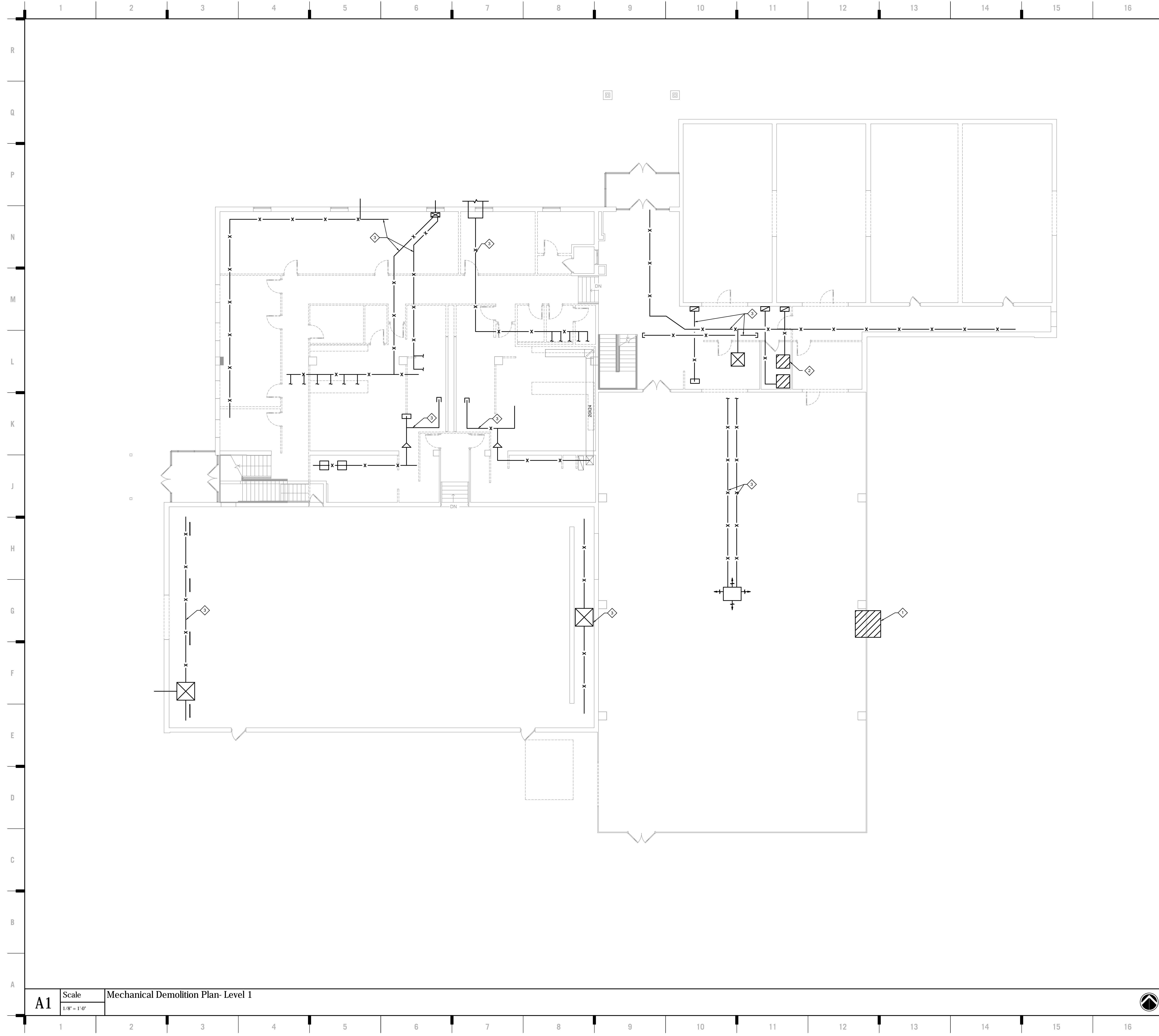


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DATE: 01.27.2016

PLAN NOTES

- A REFERENCE 8000 AND 8001 FOR TYPICAL DETAILS AND NOTES

S110



SHEET KEYNOTE LEGEND

PLAN NOTES:

- ◊ REMOVE EXISTING FAN AND LOUVER/DAMPER.
- ◊ REMOVE EXISTING FURNACES INCLUDING ALL PIPING, DUCTING, AND ELECTRICAL CONNECTIONS.
- ◊ REMOVE ALL DUCTWORK ASSOCIATED WITH DEMOLISHED EQUIPMENT, INCLUDING ALL SUPPORTS, INSULATION, ACCESSORIES, ETC.

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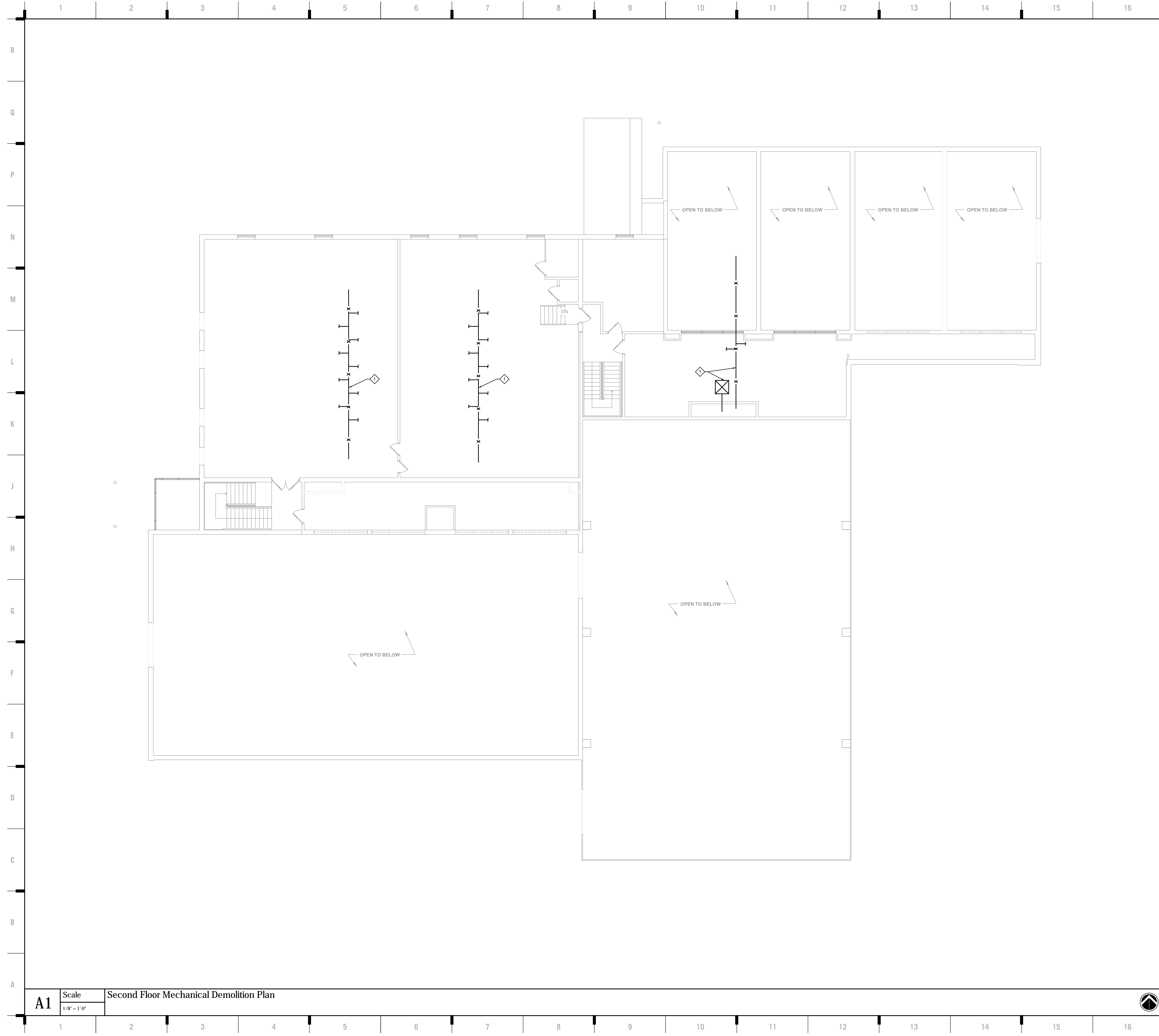
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DRAWN BY: OA
CHECKED BY: OA
DATE: 06.16.2016

MD101

OF

A1 Scale Mechanical Demolition Plan- Level 1
1/8" = 1'-0"

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SHEET KEYNOTE LEGEND

PLAN NOTES:

REMOVE ALL DUCTWORK ASSOCIATED WITH DEMOLISHED EQUIPMENT, INCLUDING ALL SUPPORTS, INSULATION, ACCESSORIES, ETC.

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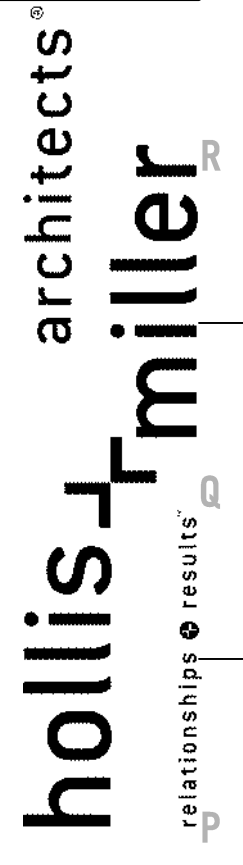
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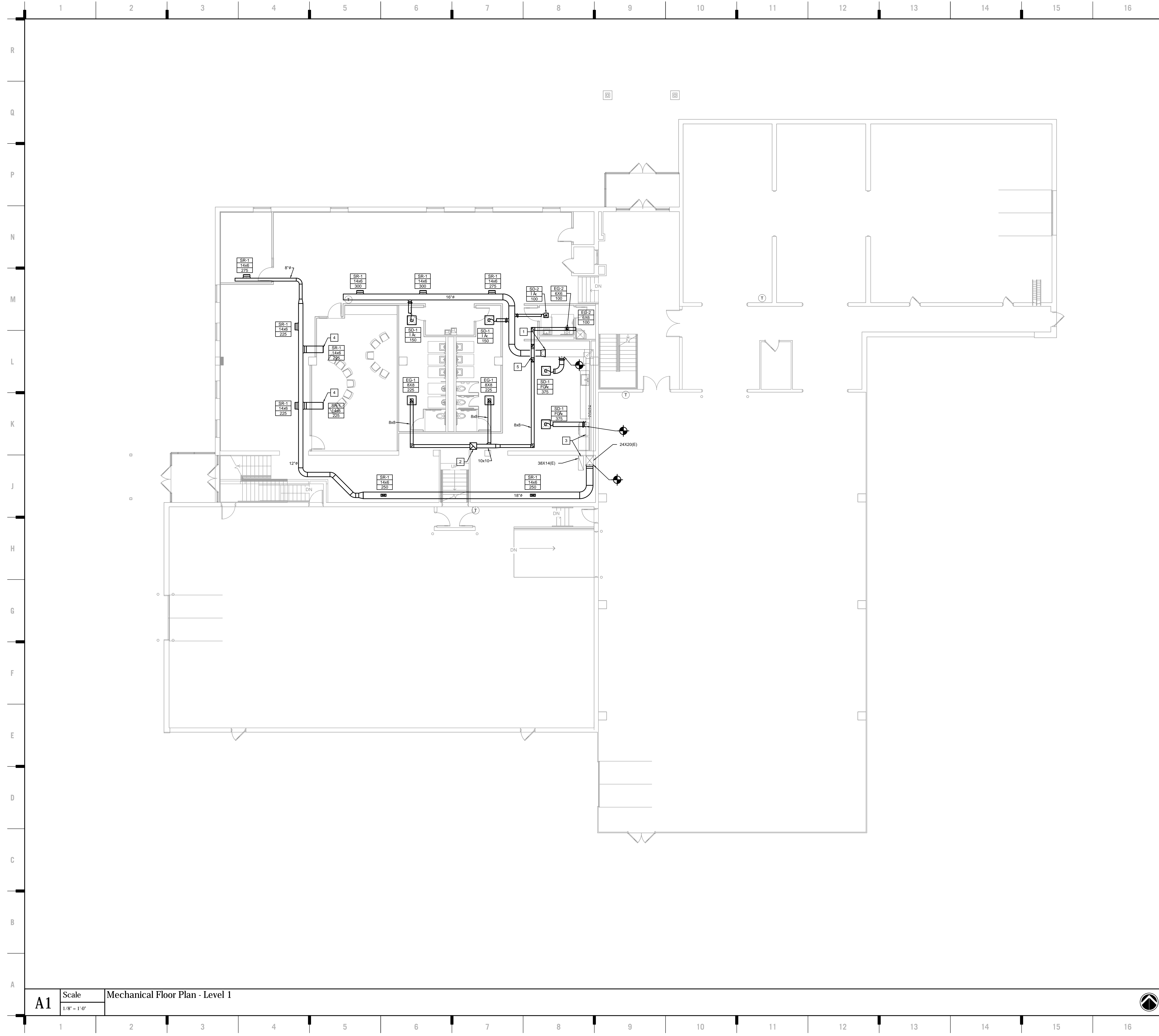
MD102

OF

A1 Scale 1/8" = 1'-0" Second Floor Mechanical Demolition Plan



11/11/2016 12:19:57 PM



SHEET KEYNOTE LEGEND

- PLAN NOTES:**
- 1 REMOVE EXISTING DUCTWORK BACK TO THIS POINT.
 - 2 EXHAUST DUCT UP TO ROOF.
 - 3 EXISTING DUCTWORK INSTALLED IN PHASE 1.
 - 4 MOUNT SUPPLY REGISTER IN SOFFIT. SEE ARCHITECTURAL PLANS.
 - 5 ROUTE EXHAUST DUCT UP AND OVER SUPPLY DUCT, COORDINATE WITH EXISTING STRUCTURAL MEMBERS.

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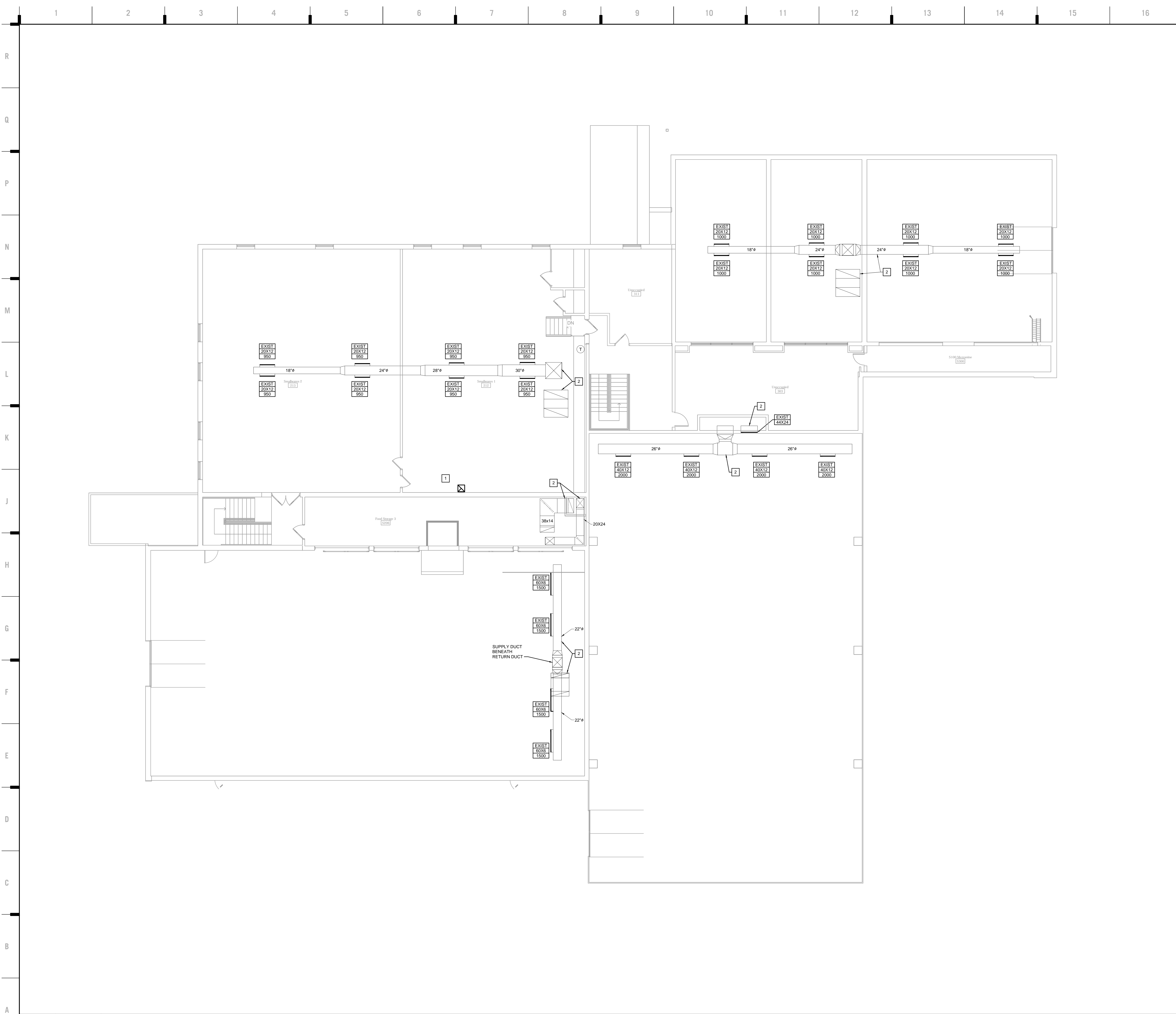
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M101
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A1 Scale Mechanical Floor Plan - Level 1
 1/8" = 1'-0"

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SHEET KEYNOTE LEGEND

- PLAN NOTES:**
- 1 EXHAUST DUCT DOWN FROM ROOF TO FIRST FLOOR RESTROOMS.
 - 2 EXISTING DUCTWORK INSTALLED IN PHASE 1.

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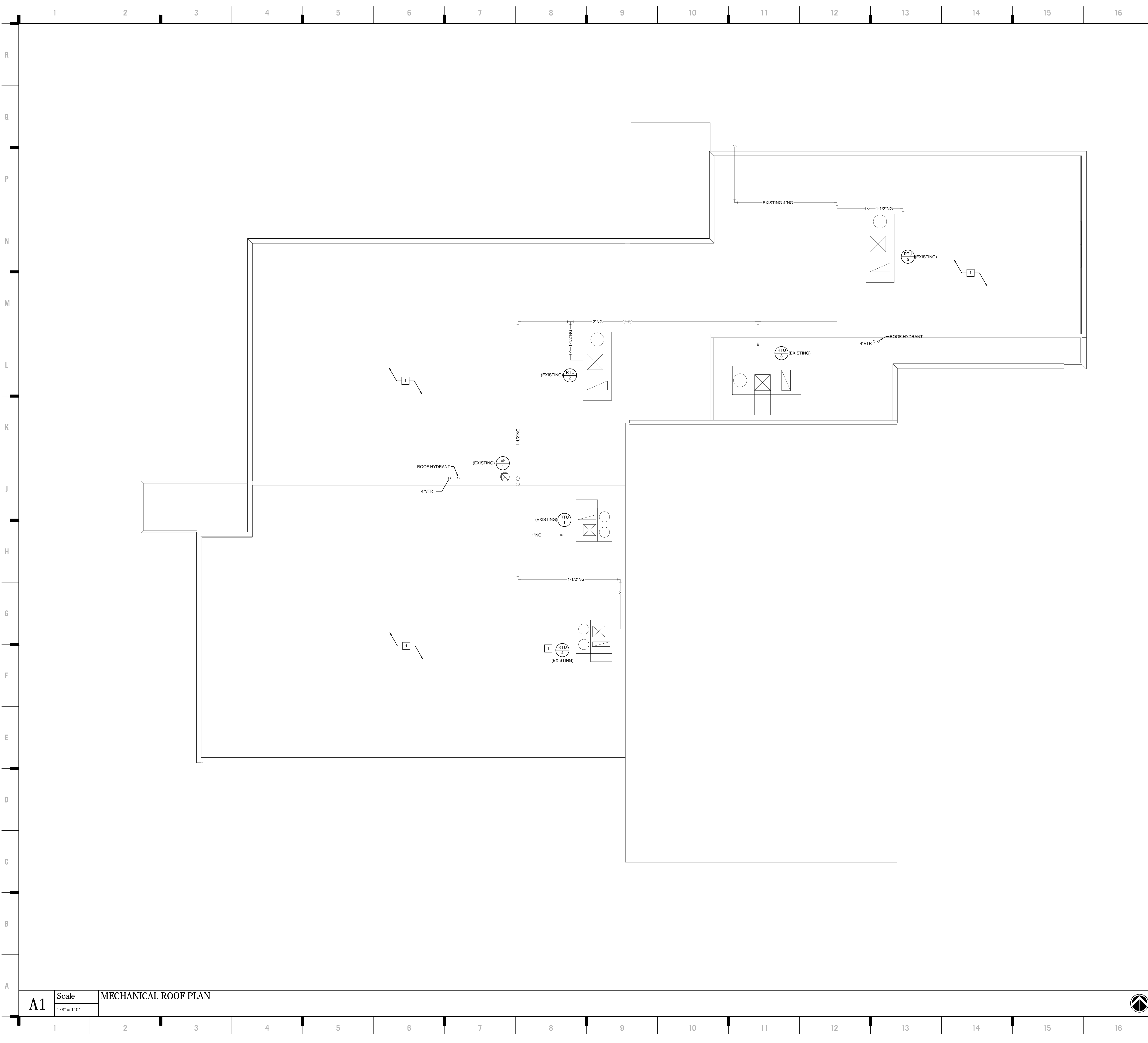
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M102
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SHEET KEYNOTE LEGEND

PLAN NOTES:

- 1 NO NEW WORK ON THIS PLAN, PROVIDED FOR REFERENCE, ALL WORK SHOWN WAS COMPLETED IN PHASE 1.

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M110

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MECHANICAL ROOF PLAN

A1 Scale 1/8" = 1'-0"

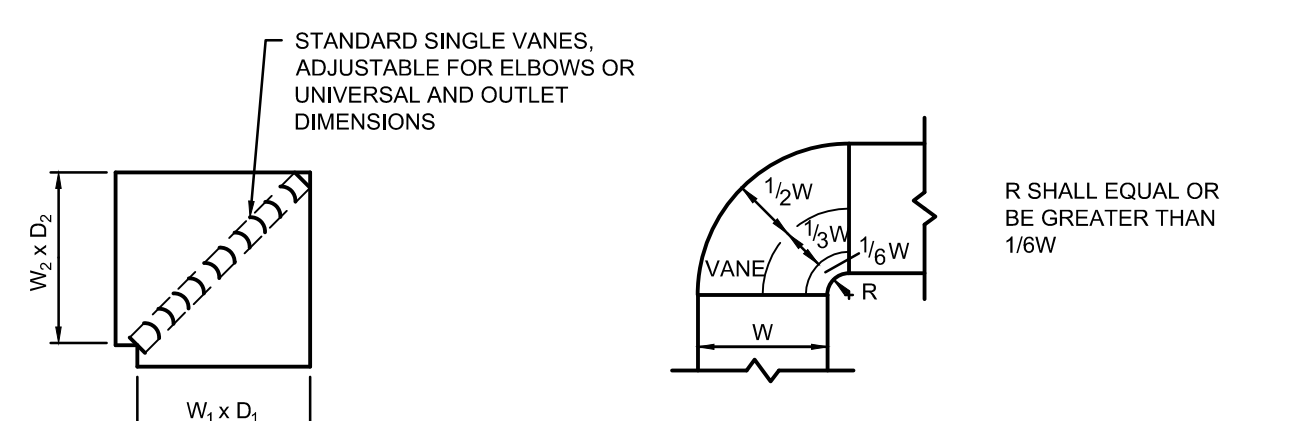
MECHANICAL ROOF PLAN



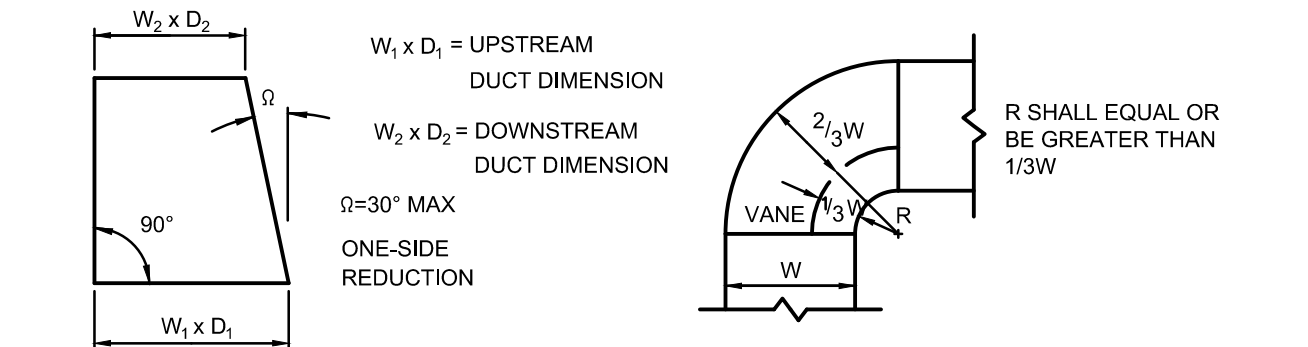
AIR DISTRIBUTION DEVICES

MARK	SERVES	COLOR	DAMPER	PATTERN	SIZE	MAX NC	MAX PD IN WC	MANUFACTURER & MODEL	REMARKS
SD-1	SUPPLY	WHITE	NA	4-WAY DIFFUSER	24X24	30	0.1	TITUS TMS	1
SD-2	SUPPLY	WHITE	NA	4-WAY DIFFUSER	12X12	30	0.1	TITUS TMS	1
SR-1	SUPPLY	WHITE	MVD	DOUBLE DEFL.	SEE PLANS	30	0.1	TITUS 300RL	1,2
RG-1	RETURN	WHITE	NA	SINGLE DEFL.	SEE PLANS	30	0.1	TITUS 350RS	1,2
EG-1	RETURN	WHITE	NA	SQUARE PERFORATED	12X12	30	0.1	TITUS PAR	1
EG-2	RETURN	WHITE	NA	SINGLE DEFL.	SEE PLANS	30	0.1	TITUS 350RS	1,2

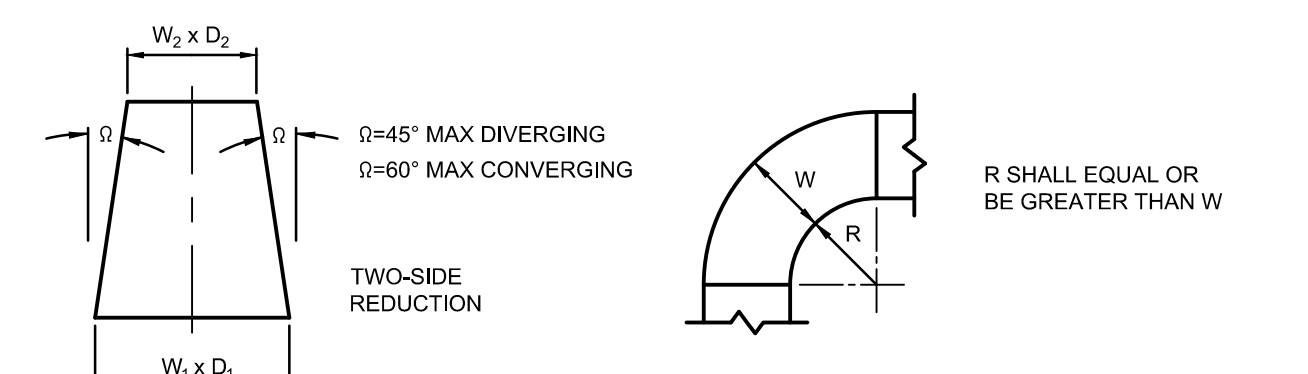
REMARKS:
 1. STEEL CONSTRUCTION.
 2. SIZE INDICATED ON PLANS.



SQUARE THROAT 90° ELBOW **SHORT RADIUS ELBOW WITH TWO VANES**

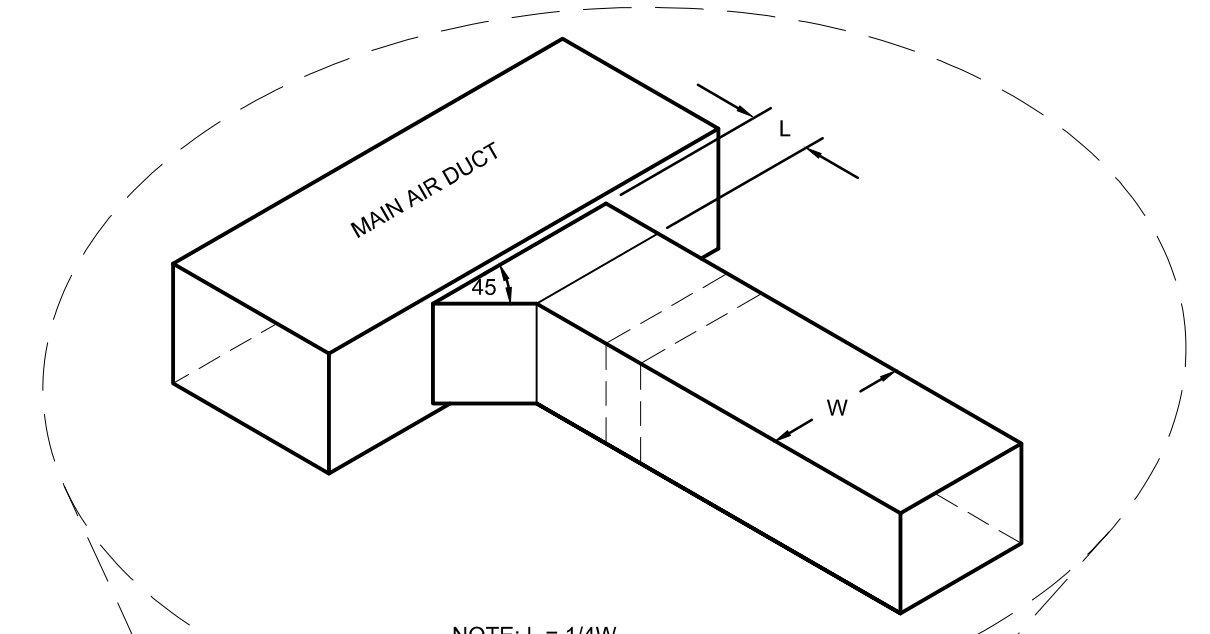


ECCENTRIC REDUCING FITTING **SHORT RADIUS ELBOW WITH ONE VANE**

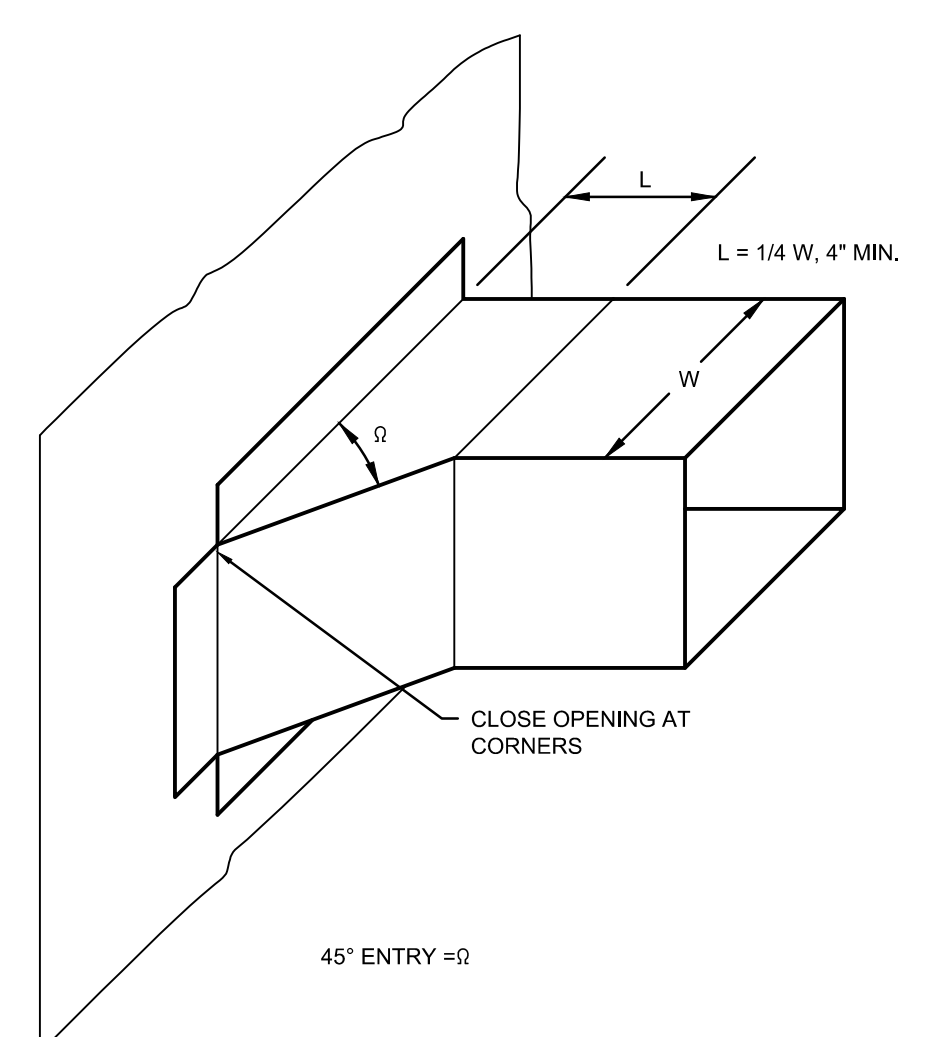
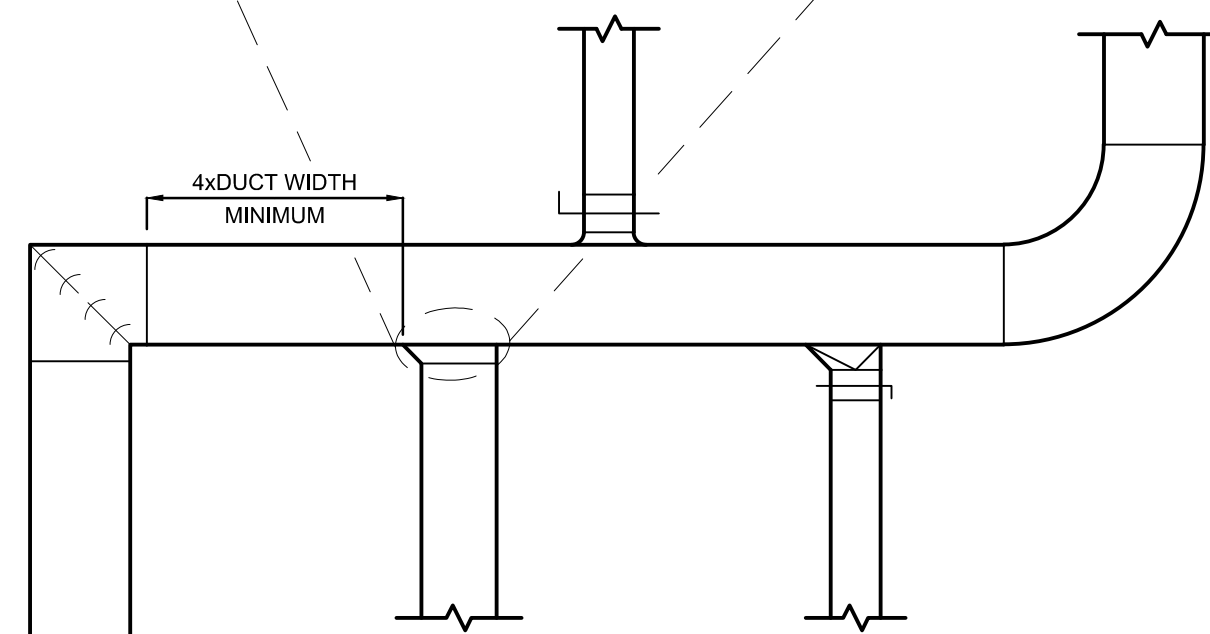


CONCENTRIC REDUCING FITTING **STANDARD RADIUS ELBOW**

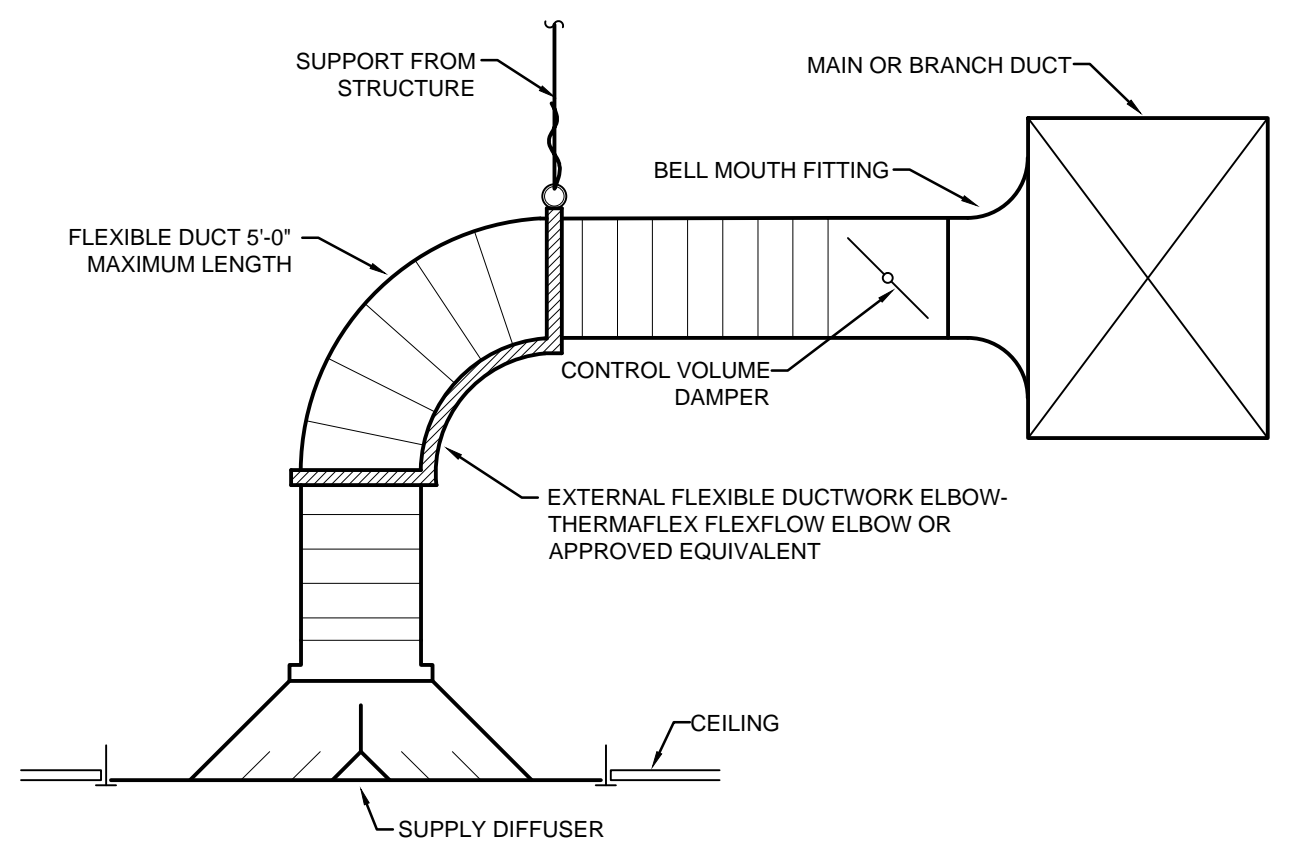
3 SHEET METAL FITTINGS
SCALE: NONE



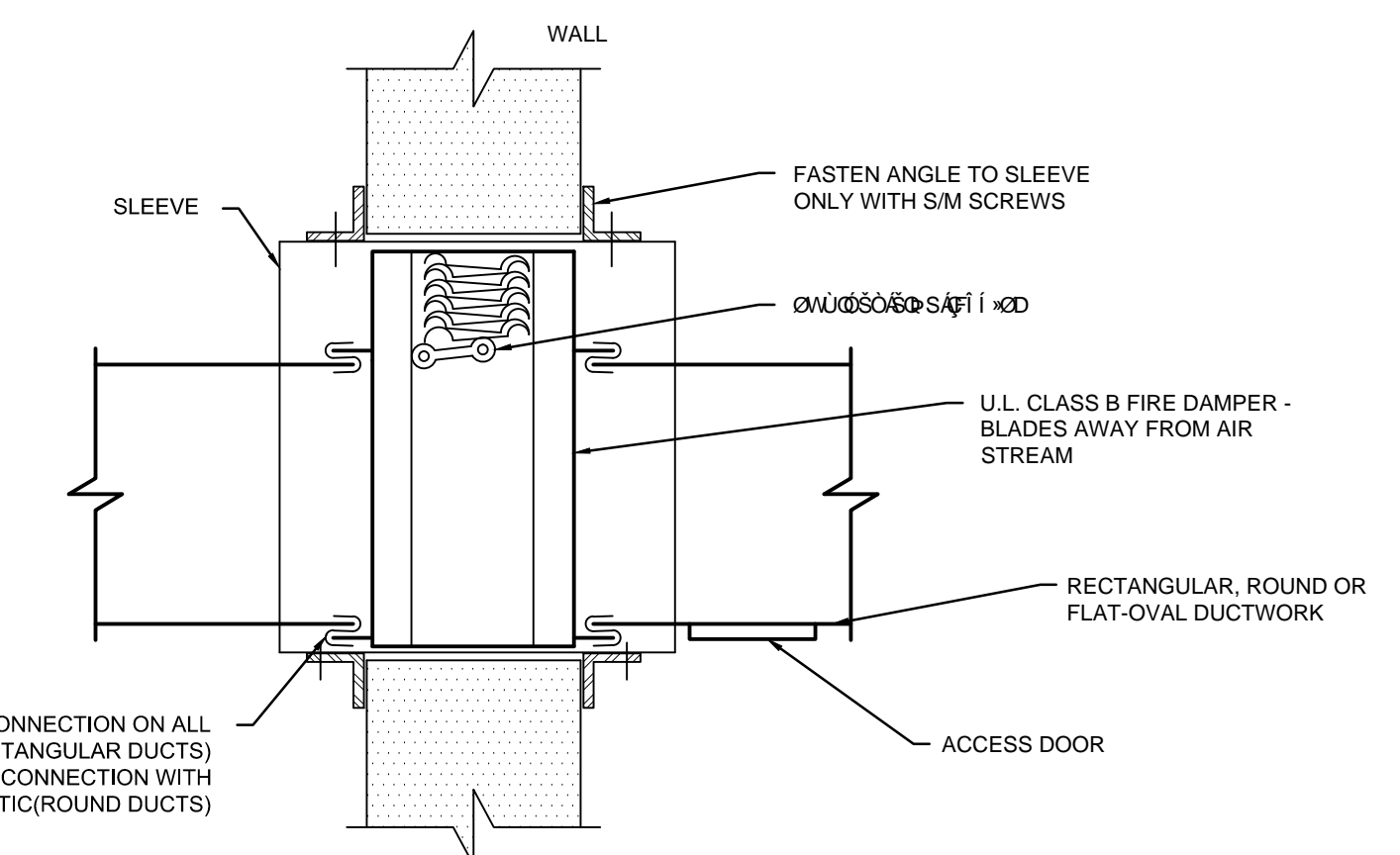
5 DUCTWORK CONSTRUCTION DETAIL
SCALE: NONE



2 45° TAKE-OFF FITTING
SCALE: NONE



4 CEILING DIFFUSER DETAIL
SCALE: NONE



1 FIRE DAMPER DETAIL
SCALE: NONE

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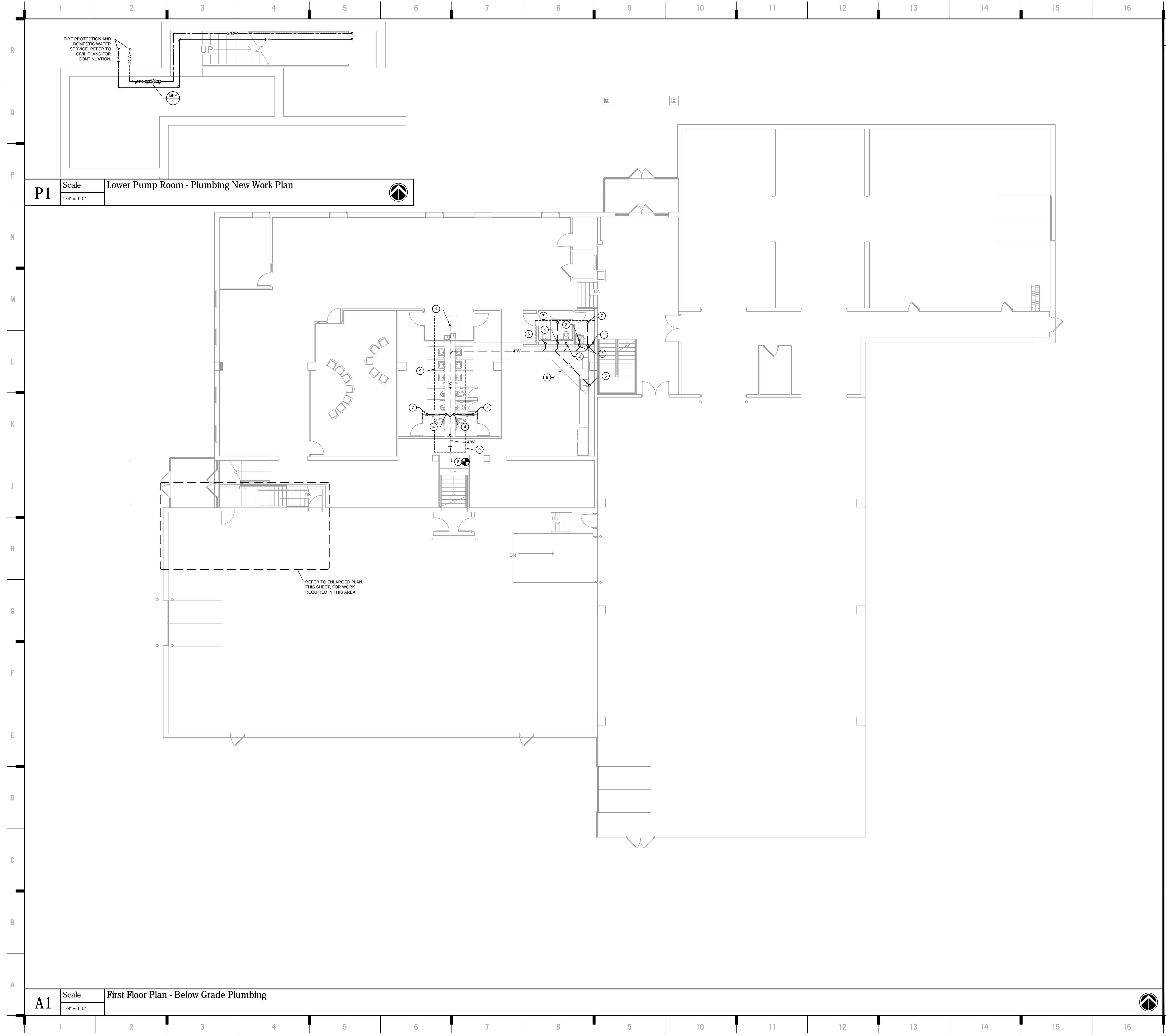
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M600
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P1 Scale 1/4" = 1'-0" Lower Pump Room - Plumbing New Work Plan

A1 Scale 1/8" = 1'-0" First Floor Plan - Below Grade Plumbing

SHEET KEYNOTE LEGEND

- PLAN NOTES:**
- ① 4" WASTE UP TO FLOOR CLEANOUT.
 - ② 4" WASTE UP TO WATER CLOSET CARRIER.
 - ③ 3" TRAPPED WASTE UP TO JANITORS SINK.
 - ④ 1-1/2" VENT UP.
 - ⑤ 2" WASTE UP TO SINK.
 - ⑥ 2" WASTE UP TO LAVATORY.
 - ⑦ 2" TRAPPED WASTE UP TO FLOOR DRAIN.
 - ⑧ EXTEND 4" WASTE PIPING BELOW GRADE TO EXISTING TO RECONNECT TO EXISTING PIPING. PRIOR TO ROUTING PIPING, CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND DEPTH OF EXISTING PIPING BELOW GRADE BY MEANS OF VIDEO INSPECTION.
 - ⑨ APPROXIMATE OUTLINE OF SAWCUTTING REQUIRED TO EXPOSE EXISTING PIPING AND ROUTE NEW PIPING BELOW GRADE. PRIOR TO SAWCUTTING FLOOR, CONTRACTOR SHALL VERIFY SIZE, ROUTING, AND DEPTH OF BELOW GRADE WASTE PIPING BY MEANS OF VIDEO INSPECTION. SAWCUT OUTLINE SHALL INCLUDE ALL ROUTING OF NEW PIPING AND EXPOSURE OF NEAREST EXISTING 4" WASTE PIPING OF ADEQUATE DEPTH AND CONDITION TO ACCOMMODATE NEW PIPING ROUTE. UPON COMPLETION OF WORK, CONTRACTOR SHALL PATCH ALL SAWCUT AREAS TO MATCH ADJACENT SPACES, OR AS REQUIRED BY ARCHITECTURAL PLANS.

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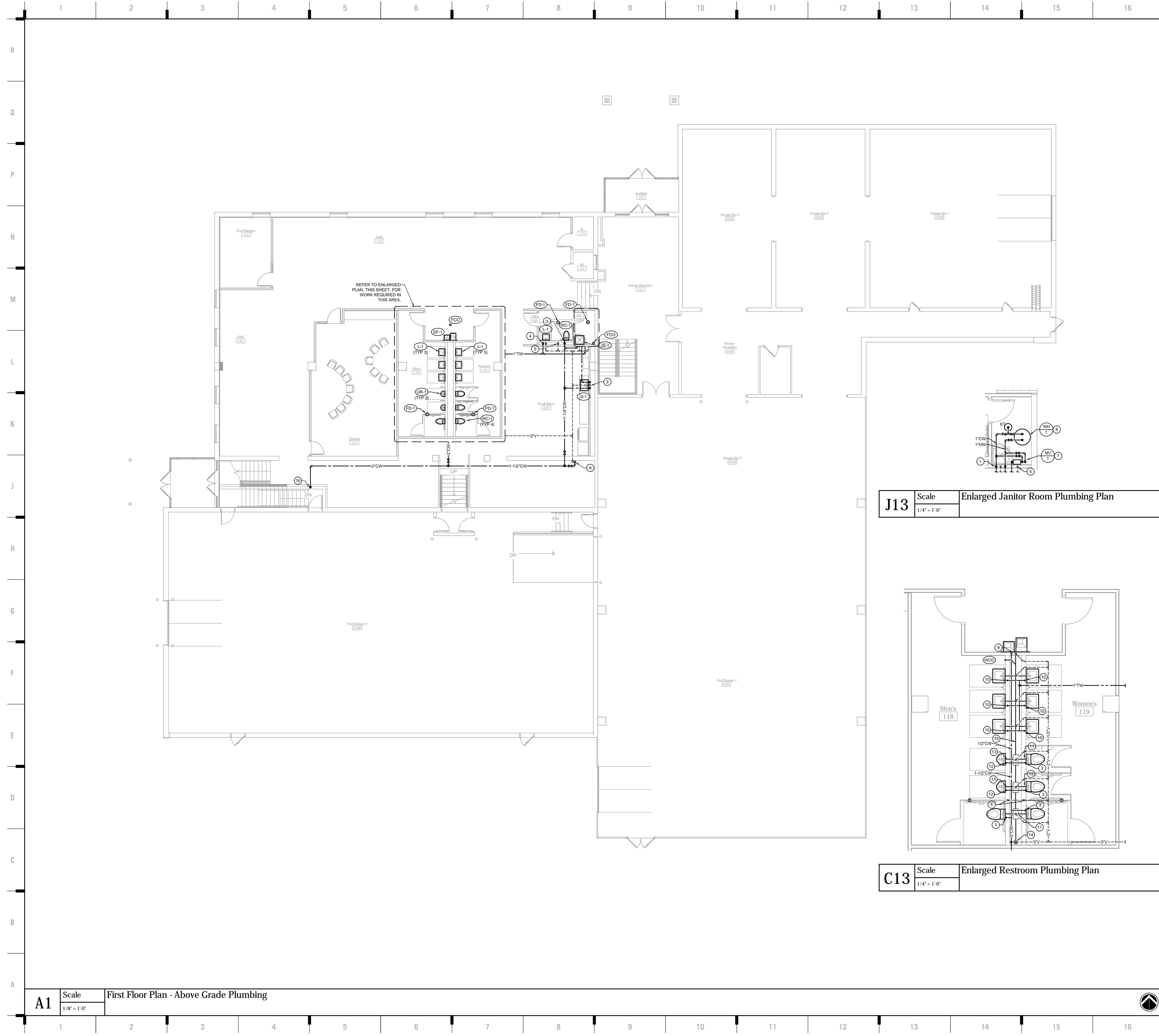


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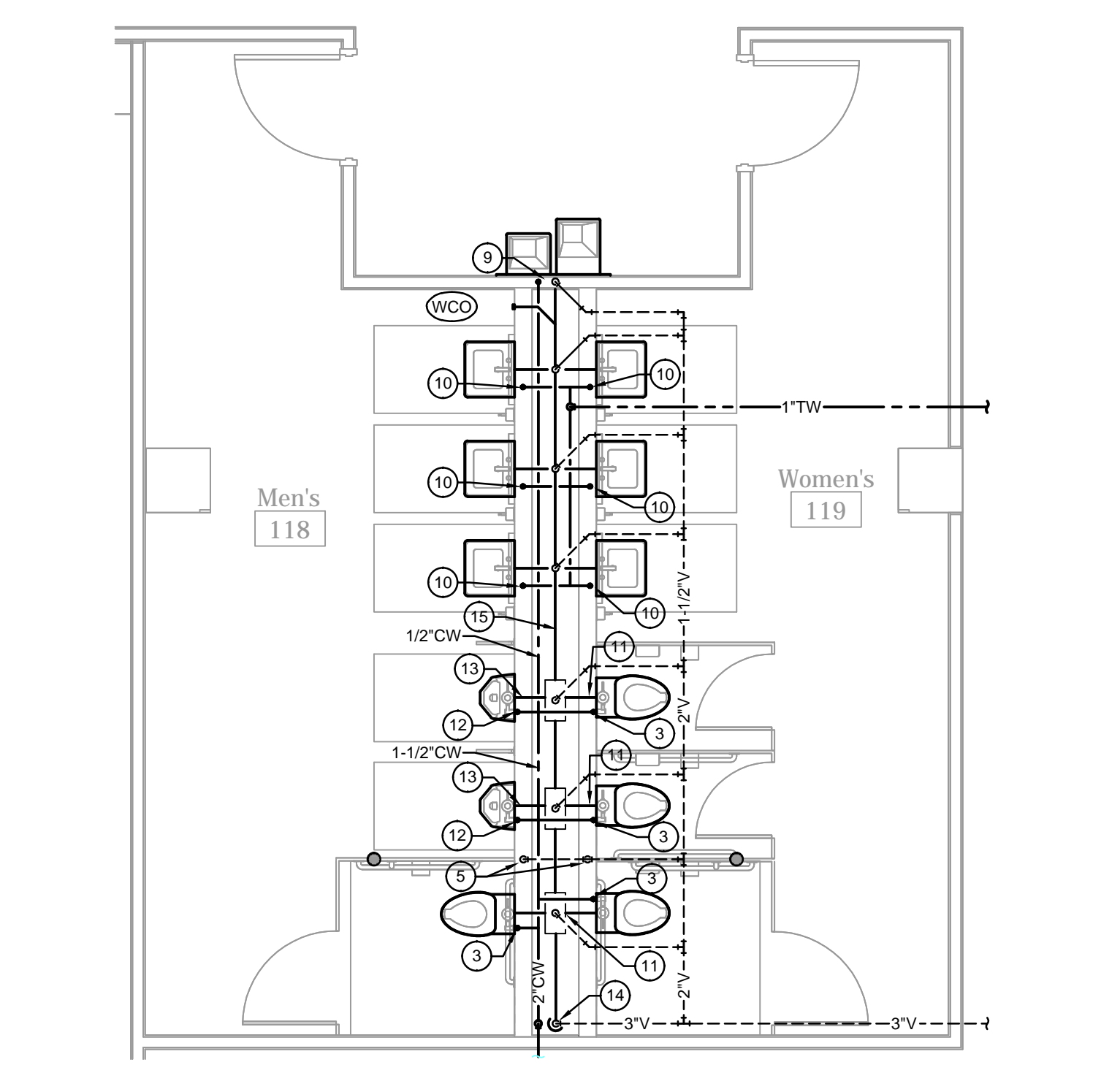
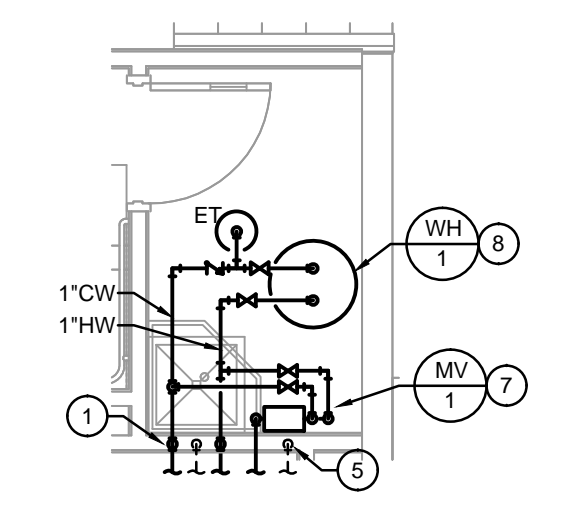


SHEET KEYNOTE LEGEND

PLAN NOTES:

- ① 1/2" COLD WATER AND HOT WATER DOWN TO WALL MOUNTED FAUCET ABOVE JANITOR'S SINK.
- ② 1/2" COLD/HOT WATER AND 1-1/2" VENT DOWN TO SINK.
- ③ 1-1/4" COLD WATER TO SERVE WATER CLOSET.
- ④ 1/2" TEMPERED WATER AND 1-1/2" VENT DOWN TO LAVATORY.
- ⑤ 1-1/2" VENT DOWN.
- ⑥ 1" COLD WATER AND 3" VENT PIPING UP TO LEVEL ABOVE. REFER TO SHEET P111 FOR CONTINUATION.
- ⑦ MIXING VALVE MOUNTED ON WALL. ROUTE 3/4" COLD AND HOT WATER TO MIXING VALVE AND 1" TEMPERED WATER FROM MIXING VALVE. PROVIDE ALL CONNECTIONS PER DETAILS AND UNIT MANUFACTURER'S REQUIREMENTS.
- ⑧ WATER HEATER SUSPENDED FROM STRUCTURE - HIGH AS POSSIBLE. ROUTE 1" COLD AND HOT WATER TO CONNECT TO WATER HEATER. ROUTE FULL SIZE DRAIN FROM SUSPENSION PLATFORM, AND T&D DISCHARGE PIPING, TO DISCHARGE TO JANITOR'S SINK WITH AIR GAP. REFER TO DETAILS FOR ALL REQUIRED CONNECTIONS.
- ⑨ 1/2" COLD WATER AND 2" WASTE TO SERVE DRINKING FOUNTAIN. ROUTE 1-1/2" VENT FROM TOP OF WASTE CONNECTION.
- ⑩ 1/2" TEMPERED WATER TO LAVATORY FAUCET.
- ⑪ 4" WASTE FROM OUTLET OF WATER CLOSET TO WATER CLOSET CARRIER. CONNECT 2" VENT TO TOP OF CARRIER VENT CONNECTION.
- ⑫ 1" COLD WATER TO SERVE URINAL.
- ⑬ 2" WASTE FROM OUTLET OF URINAL TO CONNECT TO WASTE PIPING ROUTED HORIZONTALLY WITHIN CHASE.
- ⑭ 4" WASTE DOWN TO BELOW GRADE. WITH 3" VENT FROM TOP OF TURN TO VERTICAL. REFER TO BELOW GRADE PLUMBING PLAN FOR CONTINUATION OF WASTE PIPING.
- ⑮ ROUTE WASTE PIPING HORIZONTALLY WITHIN CHASE - SLOPE AT 1/8" PER 1'-0" TOWARDS DROP TO BELOW GRADE.
- ⑯ 2" COLD WATER PIPING DOWN TO SUB-LEVEL. ROUTE TIGHT TO WALL DOWN STAIRS. REFER TO ENLARGED PLAN, SHEET P101, FOR CONTINUATION.

J13 Scale 1/4" = 1'-0" **Enlarged Janitor Room Plumbing Plan**



C13 Scale 1/4" = 1'-0" **Enlarged Restroom Plumbing Plan**

A1 Scale 1/8" = 1'-0" **First Floor Plan - Above Grade Plumbing**

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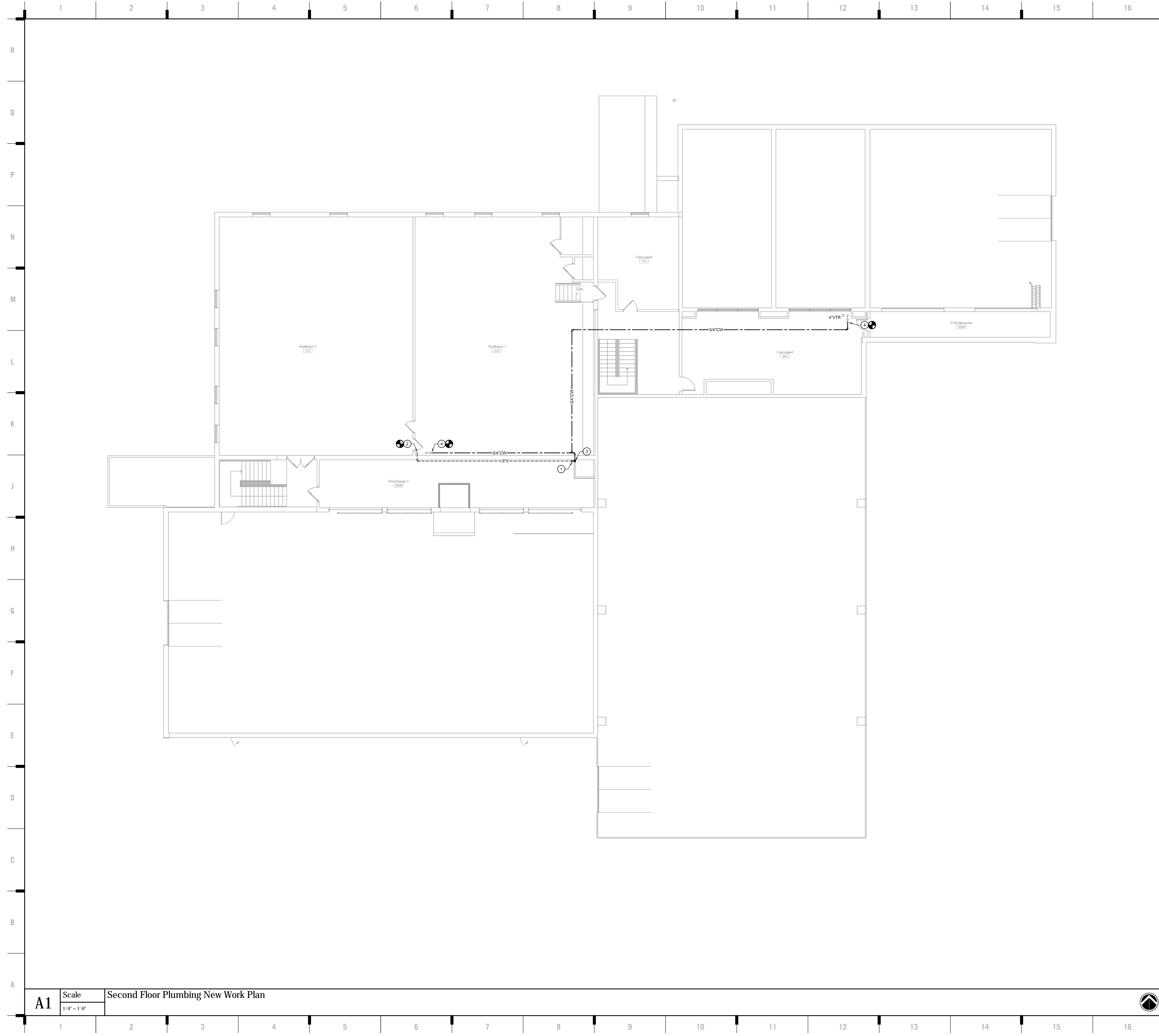
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SHEET KEYNOTE LEGEND

PLAN NOTES:

- ① 3" VENT UP FROM LEVEL BELOW.
- ② 3" VENT PIPING TO CONNECT TO EXISTING 4" VENT THRU ROOF.
- ③ 1" COLD WATER UP FROM LEVEL BELOW.
- ④ 3/4" COLD WATER TO CONNECT TO EXISTING COLD WATER PIPING FROM EXISTING ROOF HYDRANT ON ROOF.

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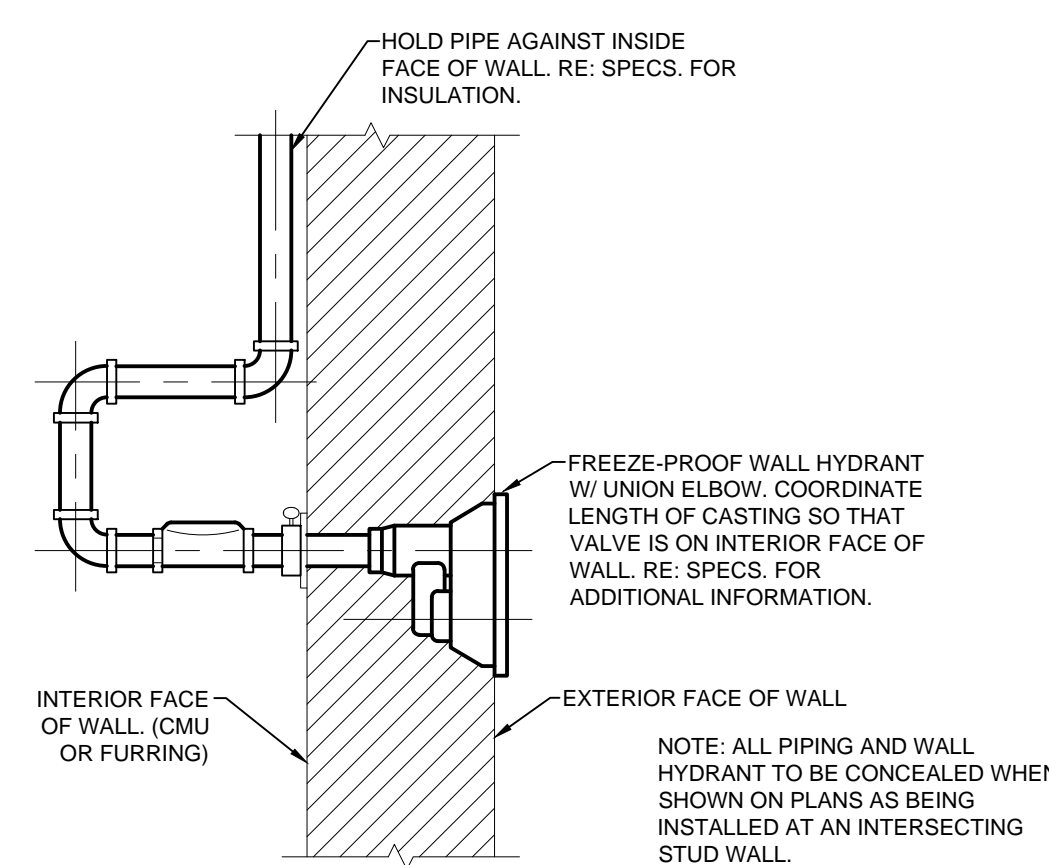
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P111

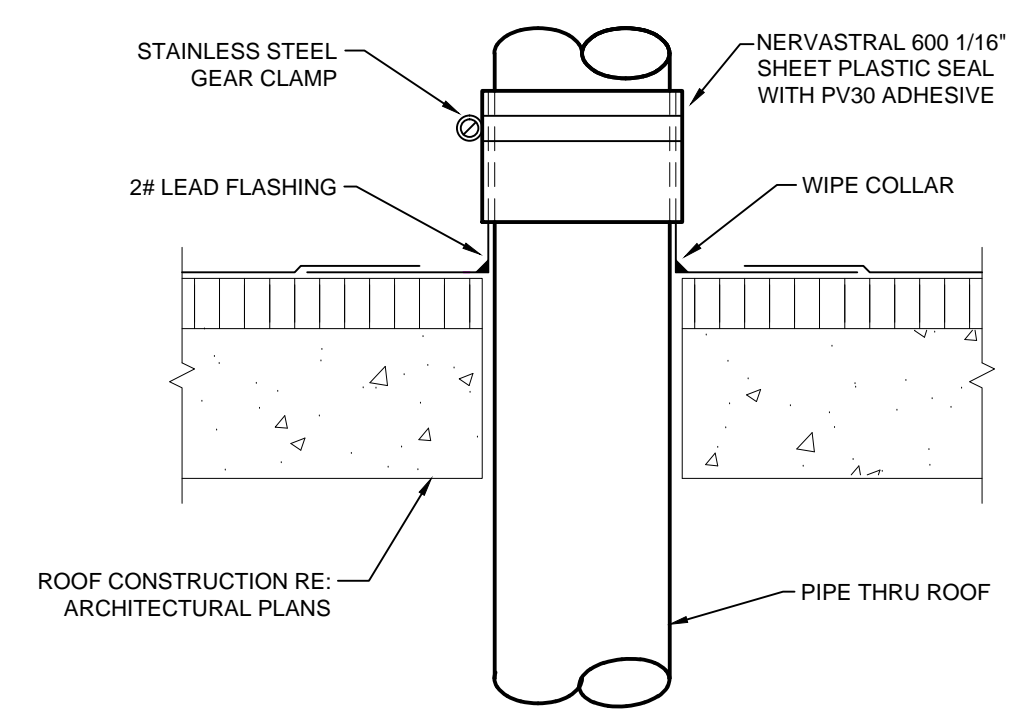
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A1 Scale Second Floor Plumbing New Work Plan
 1/4" = 1'-0"

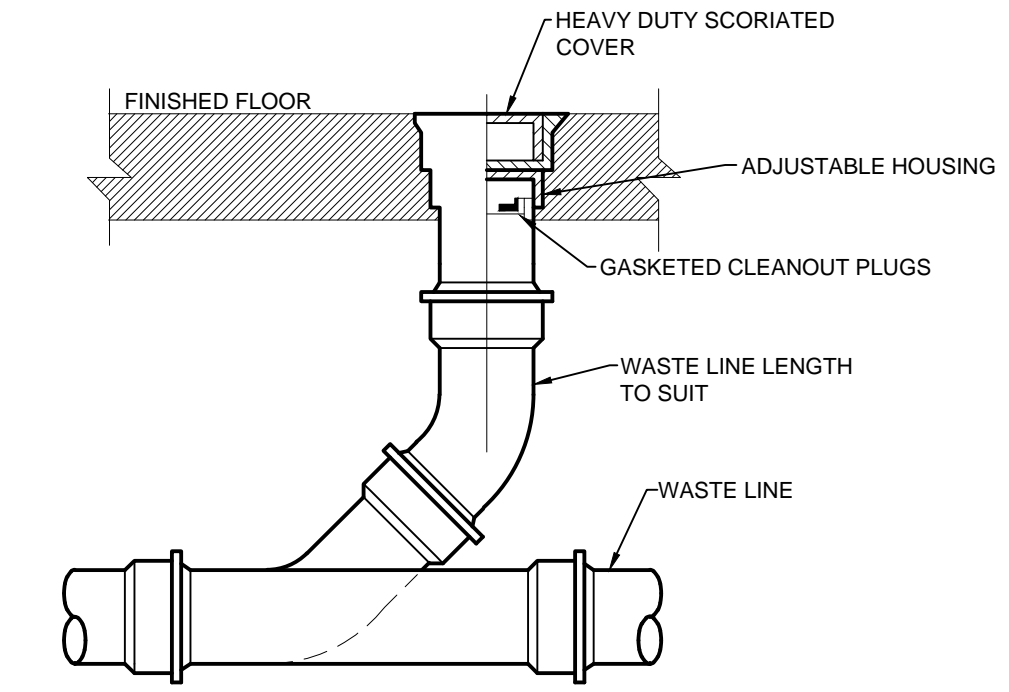
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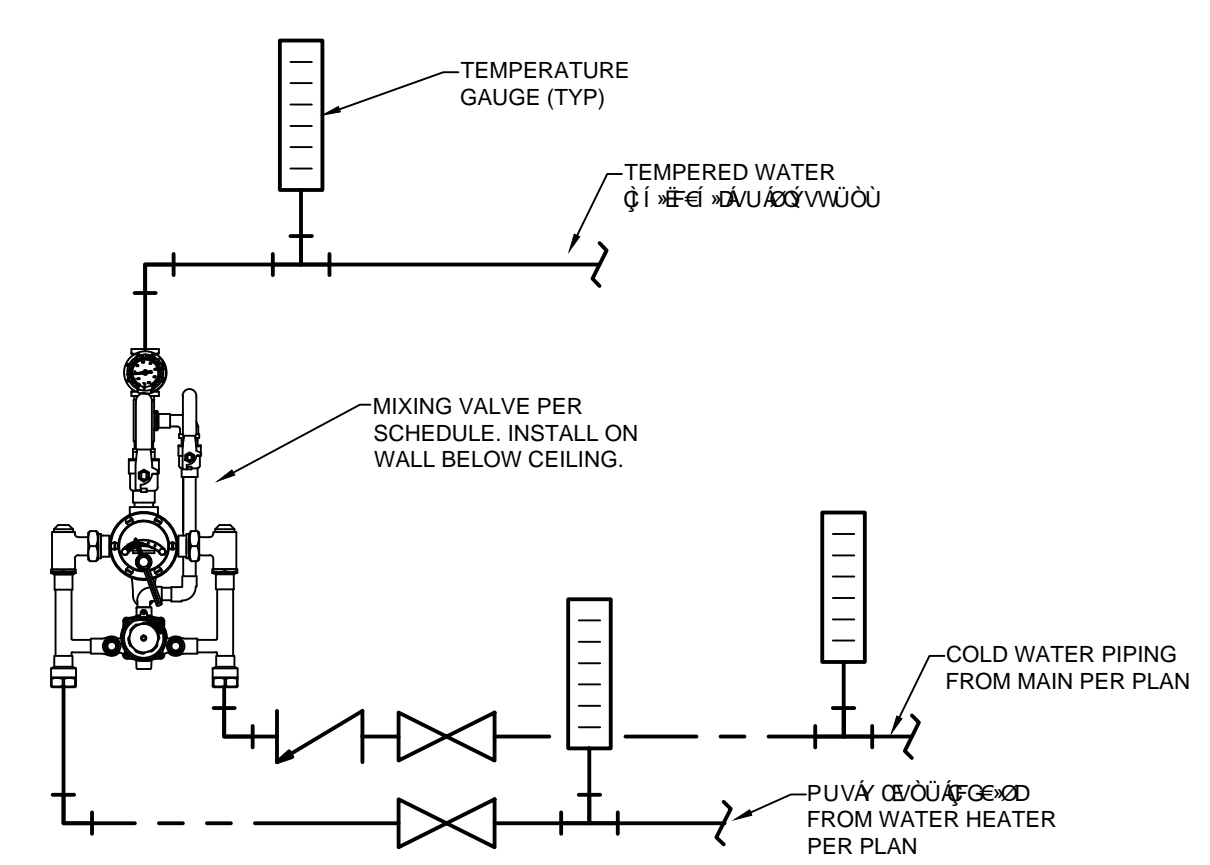
11 WALL HYDRANT DETAIL
SCALE: NO SCALE



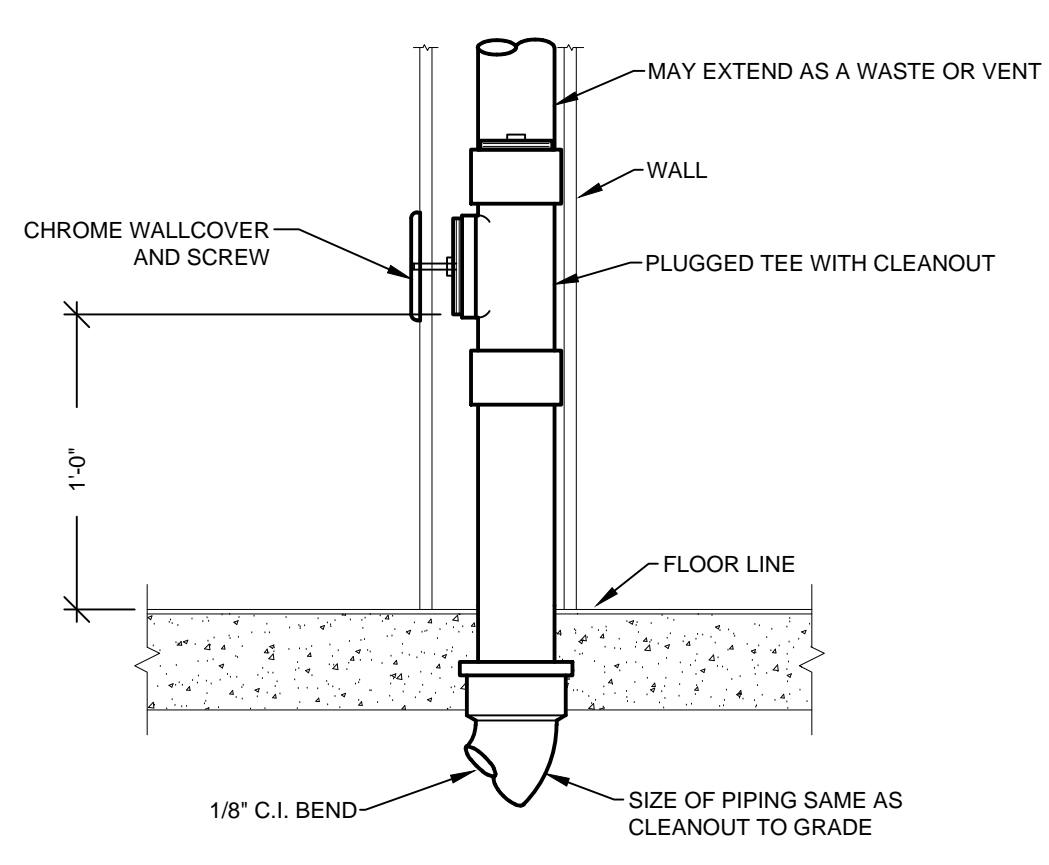
7 VENT THRU ROOF DETAIL
SCALE: NO SCALE



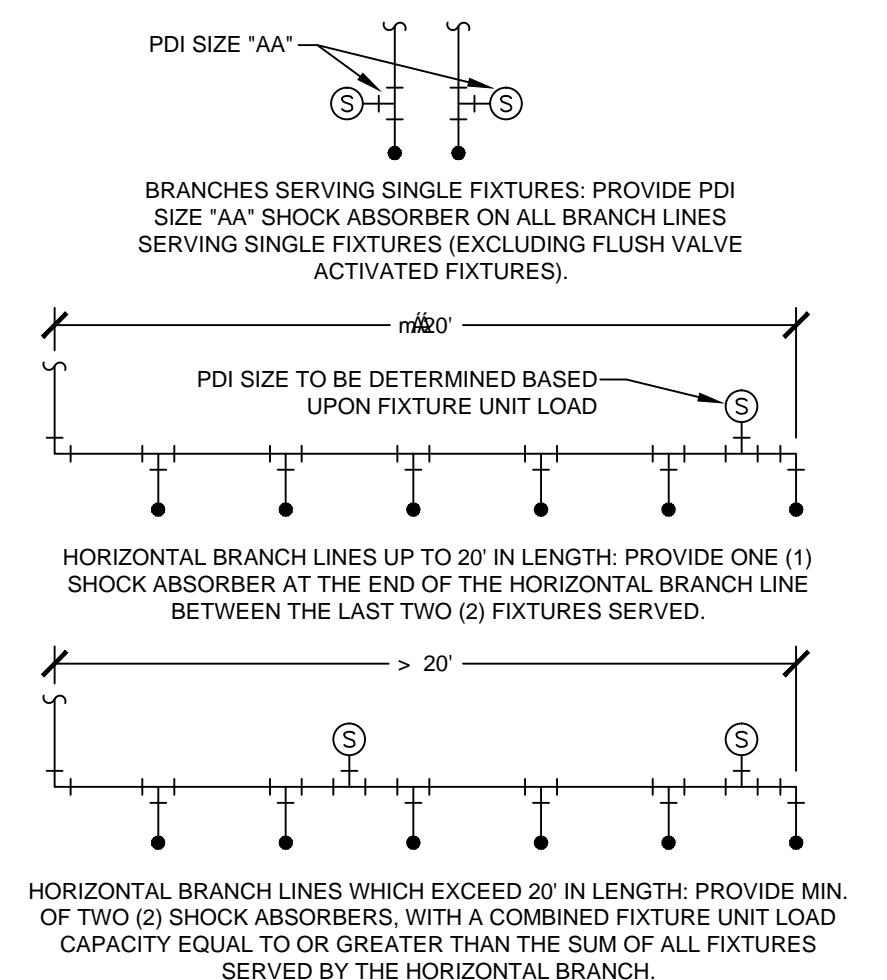
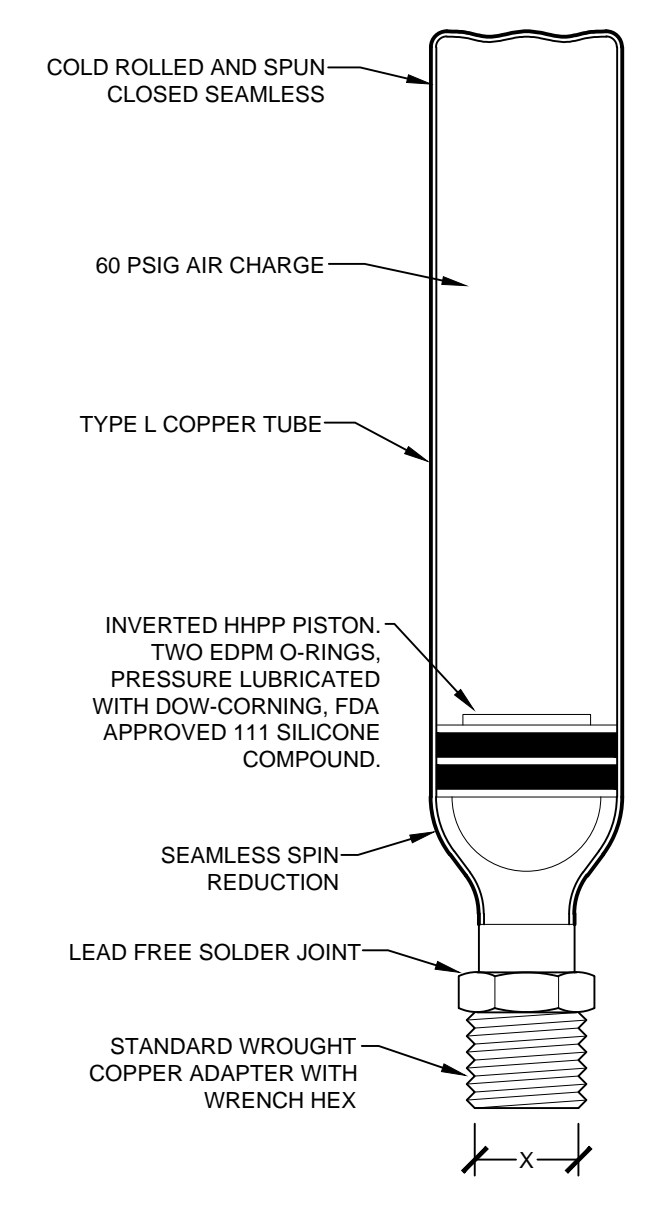
3 FLOOR CLEANOUT DETAIL
SCALE: NO SCALE



10 MIXING VALVE DETAIL
SCALE: NO SCALE



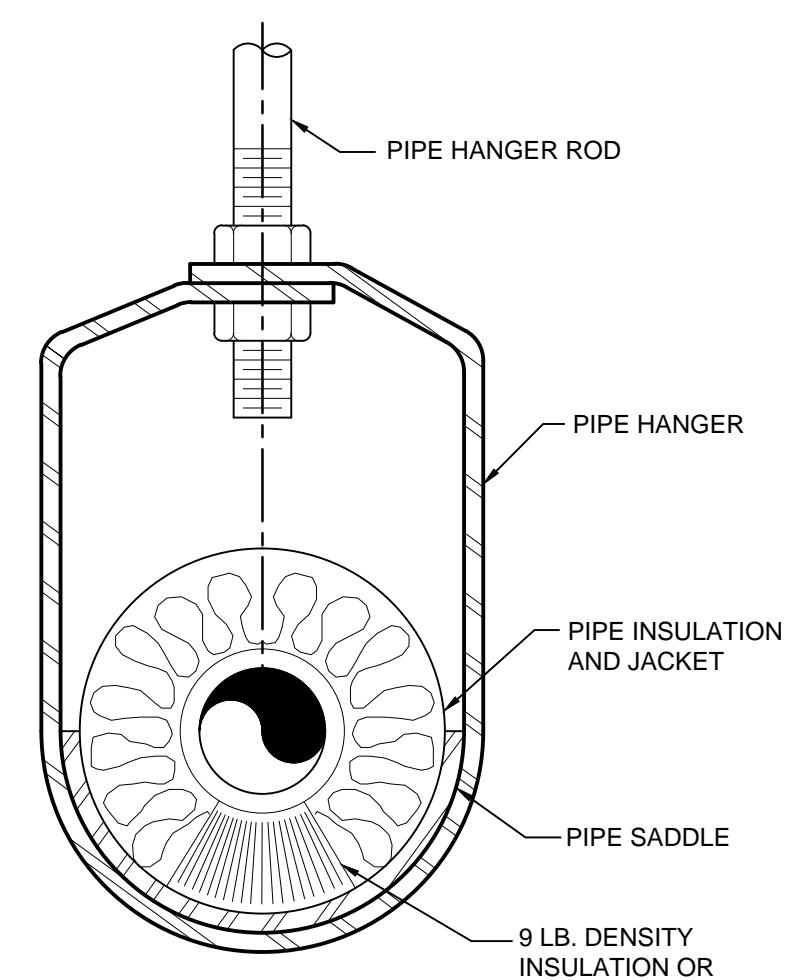
6 WALL CLEANOUT DETAIL
SCALE: NO SCALE



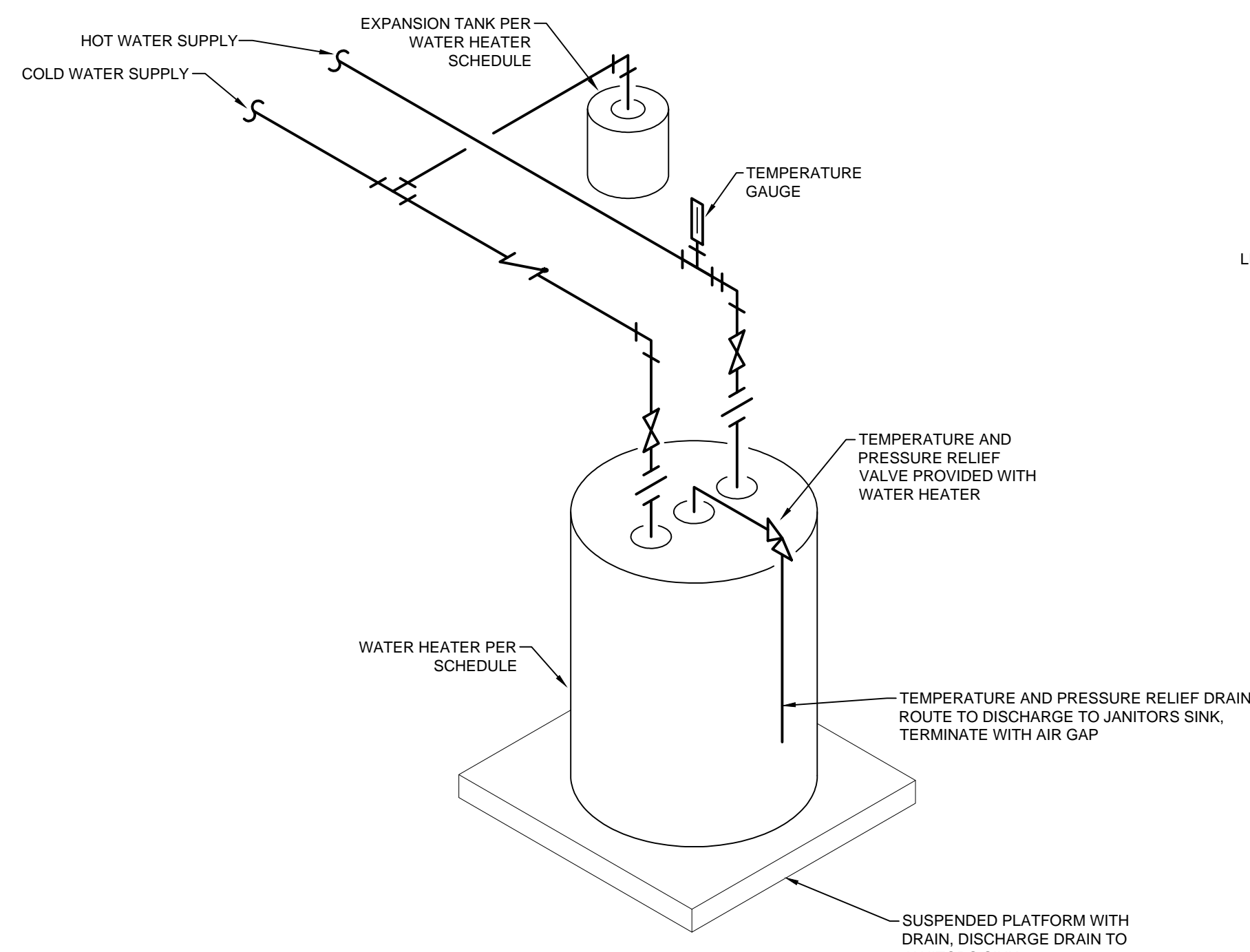
SHOCK ABSORBER LOCATIONS

FIXTURE*	SUPPLY TYPE	FIXTURE UNIT LOADS					
		TOTAL	CW	HW	PRIVATE		
WATER CLOSET	FLUSH VALVE (1.6 GPF)	8.0	8.0	--	5.0	5.0	--
WATER CLOSET	FLUSH TANK (1.6 GPF)	5.0	5.0	--	2.5	2.5	--
URINAL	FLUSH VALVE (1.0 GPF)	4.0	4.0	--	--	--	--
LAVATORY	FAUCET	2.0	1.5	1.5	1	1	1
SINK	FAUCET	2.0	1.5	1.5	1	1	1
SHOWER	MIXING VALVE	4	2	3	2	1	2
BATHTUB	FAUCET	4	2	3	2	1.5	1.5
SERVICE SINK	FAUCET	3	3	3	--	--	--
WASHING MACHINE	AUTOMATIC (8 lb)	3	2.5	2.5	1.5	1	1

* ALL FIXTURES NOT LISTED IN TABLE SHALL HAVE FIXTURE UNIT LOAD VALUE DETERMINED BY 2008 IPC TABLE E103.3

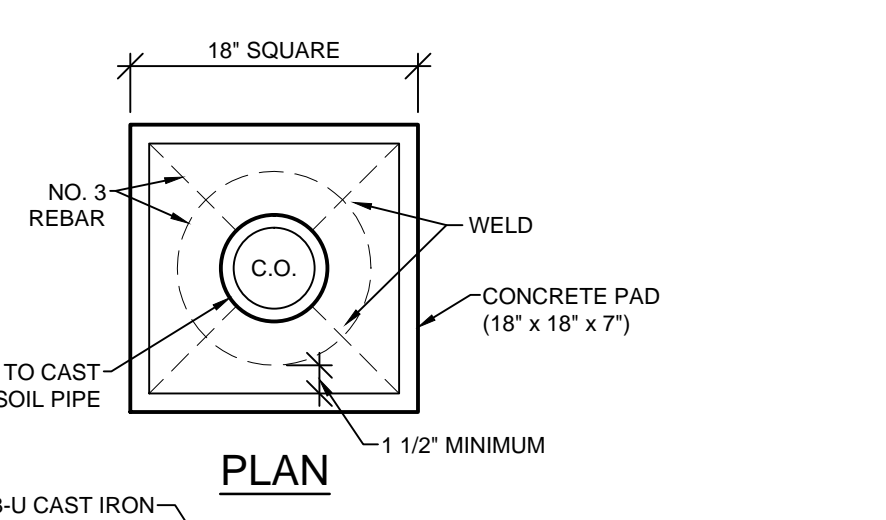


9 PIPE HANGER SUPPORT
SCALE: NO SCALE



5 WATER HEATER DETAIL
SCALE: NO SCALE

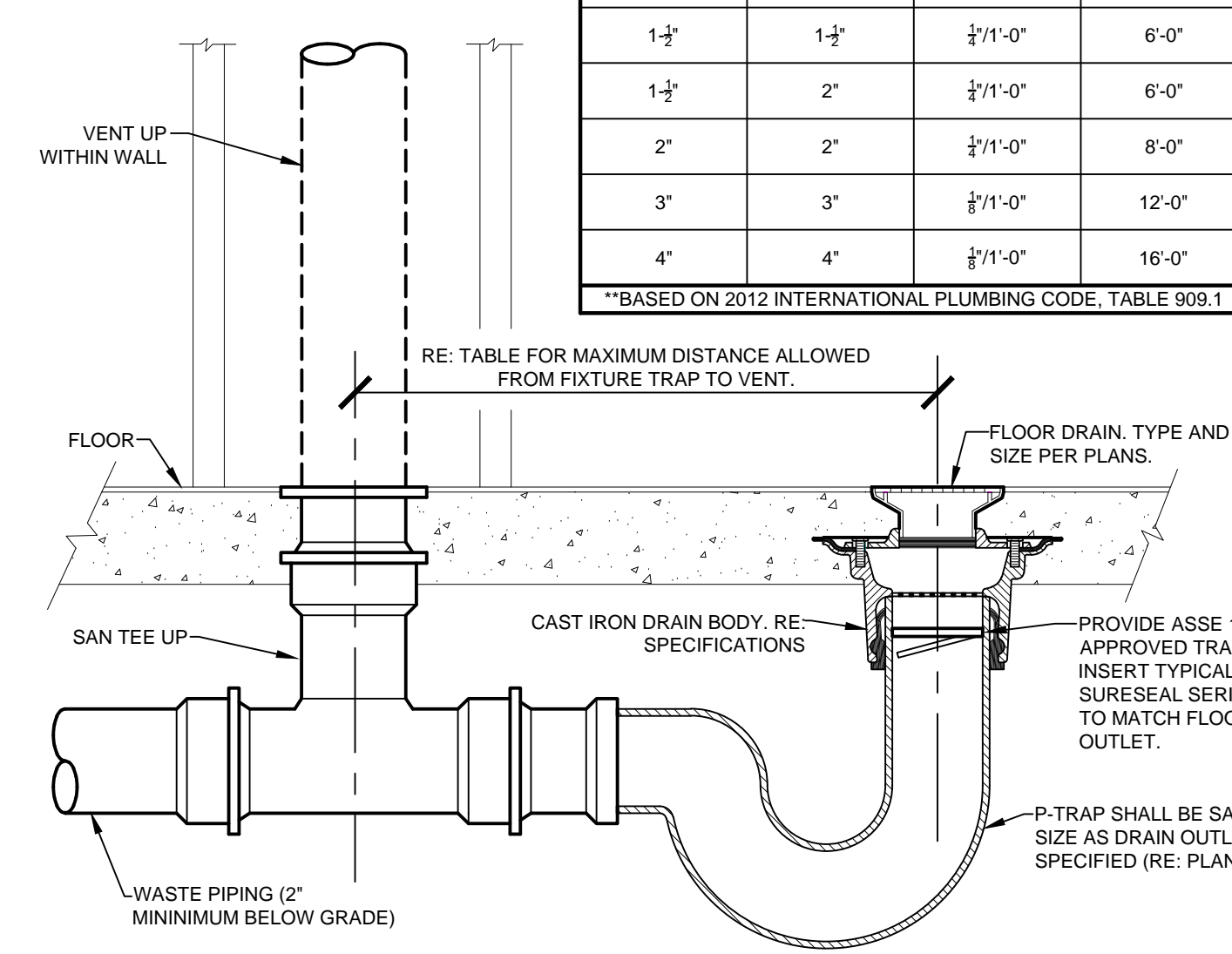
2 SHOCK ABSORBER DETAIL
SCALE: NO SCALE



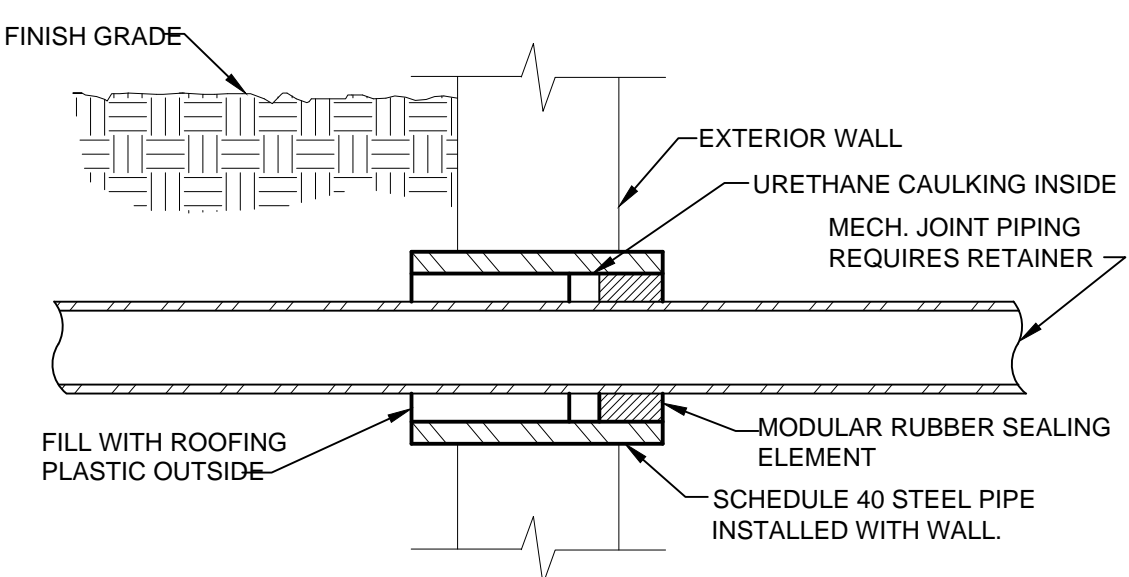
8 FINISHED GRADE CLEANOUT DETAIL
SCALE: NO SCALE

SIZE OF TRAP	SIZE OF FIXTURE DRAIN	SLOPE	DISTANCE FROM TRAP
1-1/2"	1-1/2"	1/4"	6'-0"
1-1/2"	2"	1/4"	6'-0"
2"	2"	1/4"	8'-0"
3"	3"	1/4"	12'-0"
4"	4"	1/4"	16'-0"

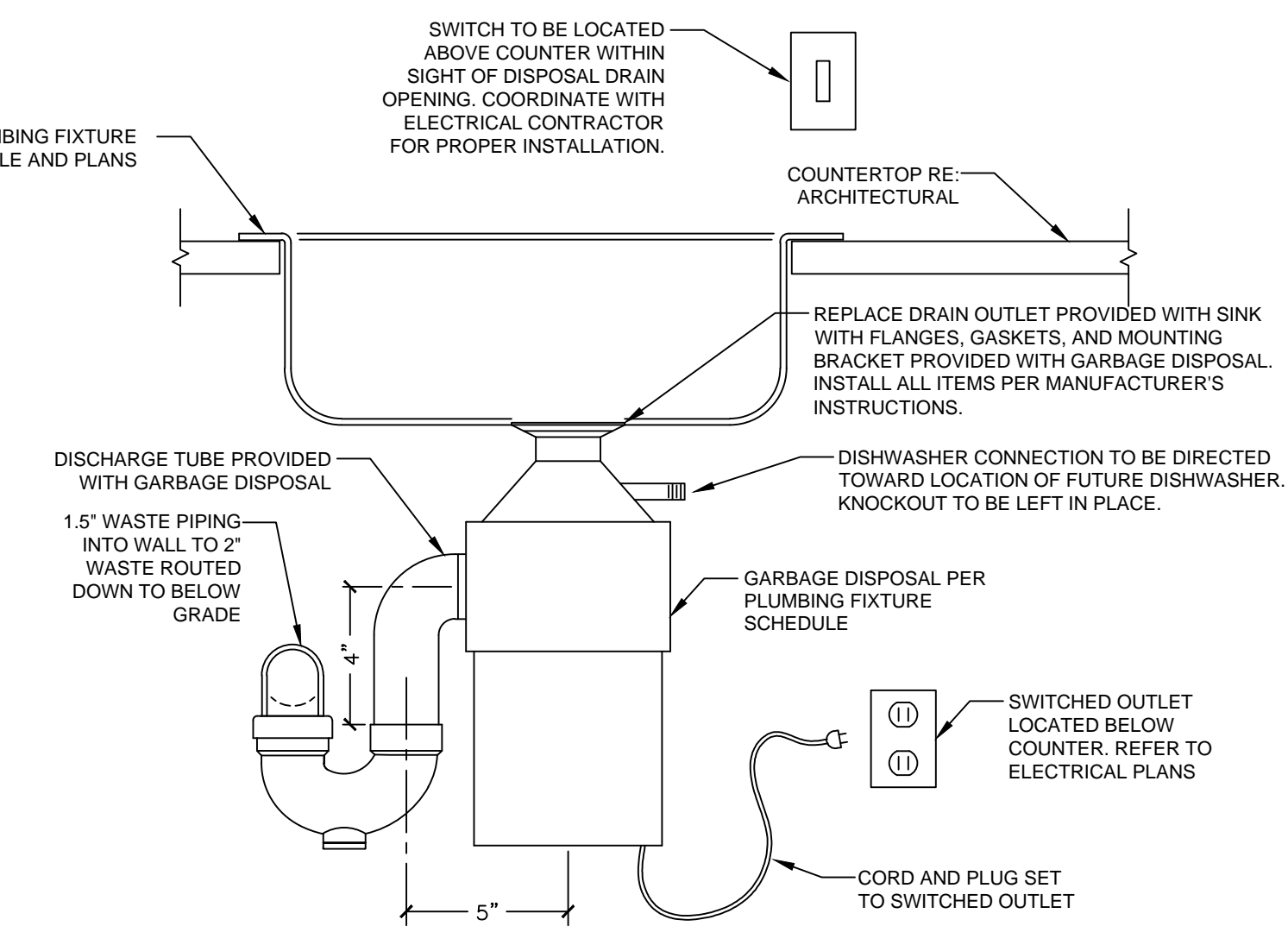
*BASED ON 2012 INTERNATIONAL PLUMBING CODE, TABLE 909.1



4 FLOOR DRAIN DETAIL
SCALE: NO SCALE



12 PIPE SLEEVE THRU EXTERIOR WALL
SCALE: NO SCALE



1 SINK/GARBAGE DISPOSAL INSTALLATION DETAIL
SCALE: NO SCALE

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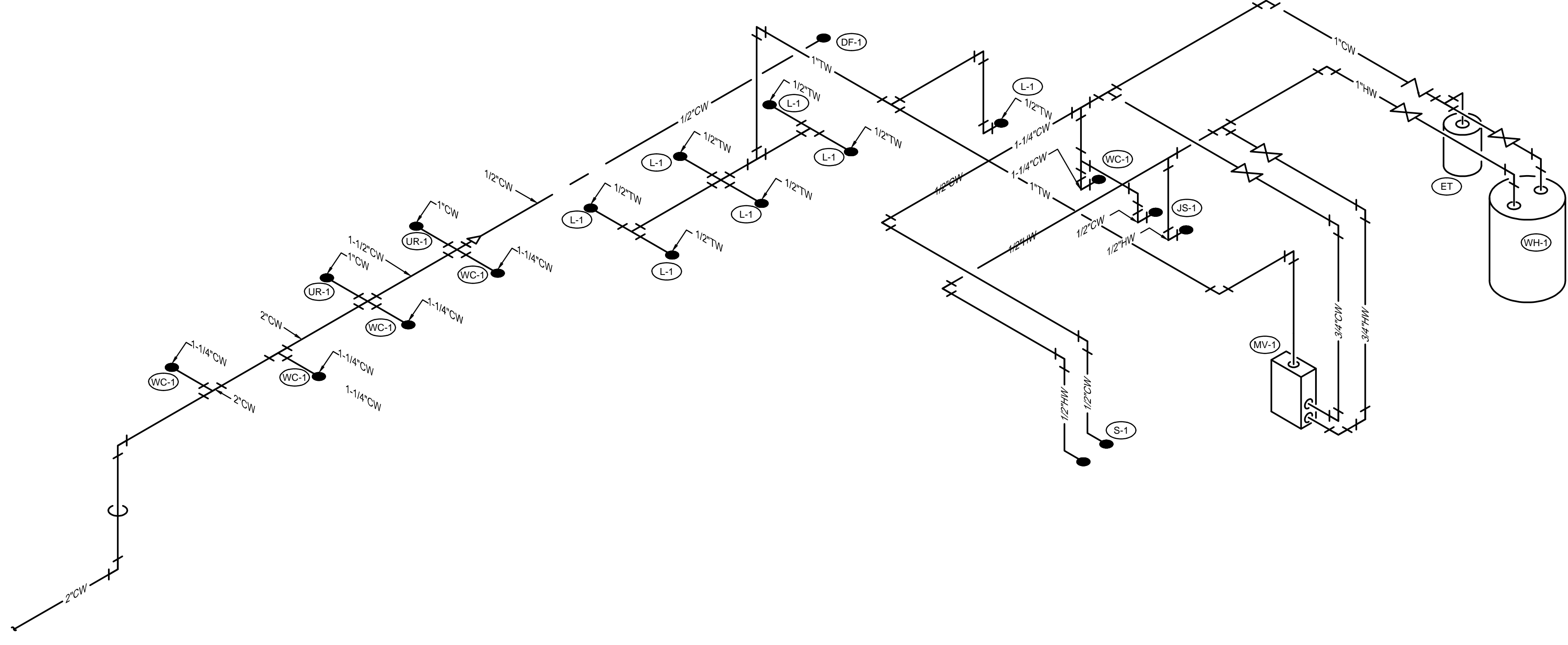
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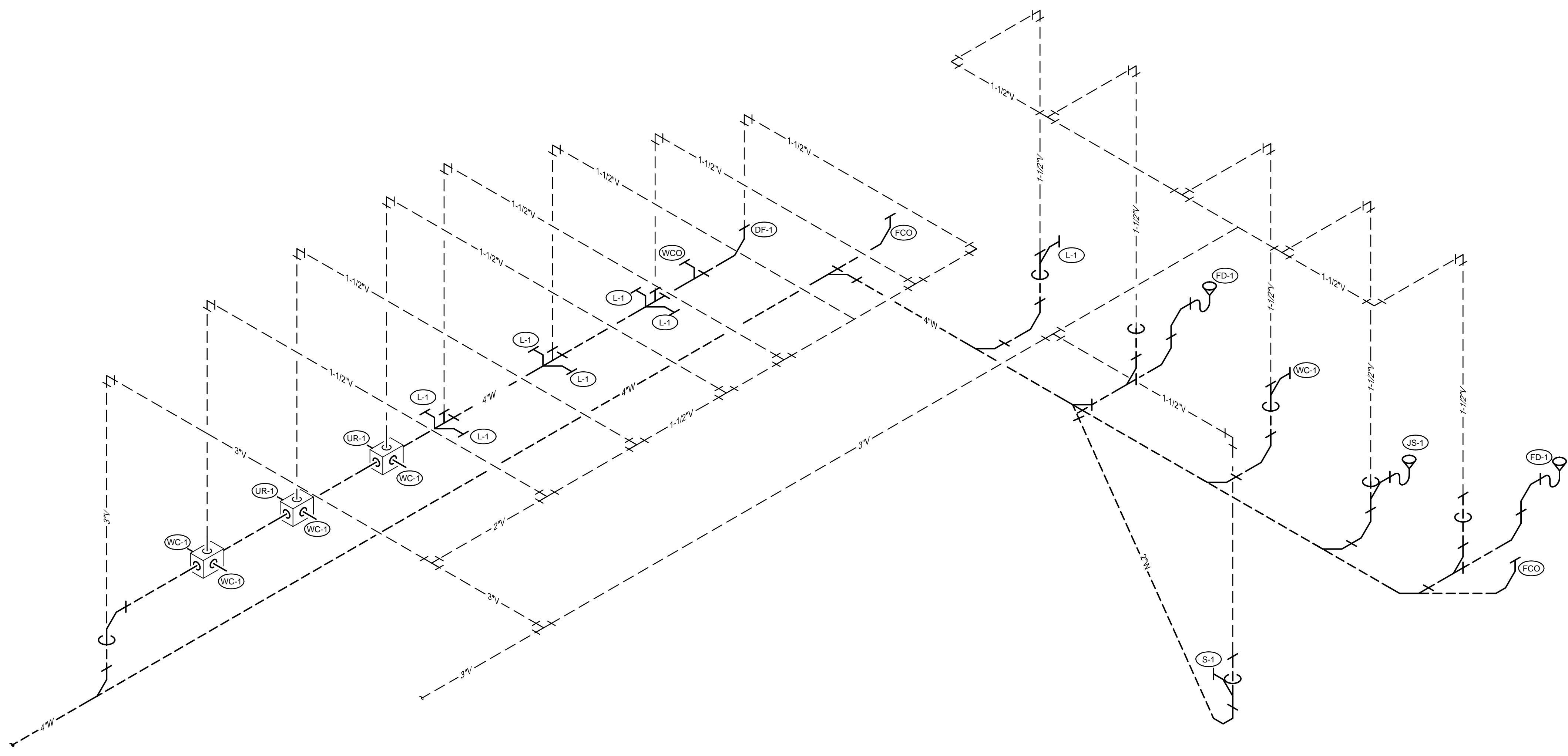


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② DOMESTIC WATER RISER ROOMS 118, 119, 120, 120A
SCALE: NONE



① WASTE AND VENT RISER ROOMS 118, 119, 120, 120A
SCALE: NONE

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District Warehouse
Independence School District
14001 East 32nd Street
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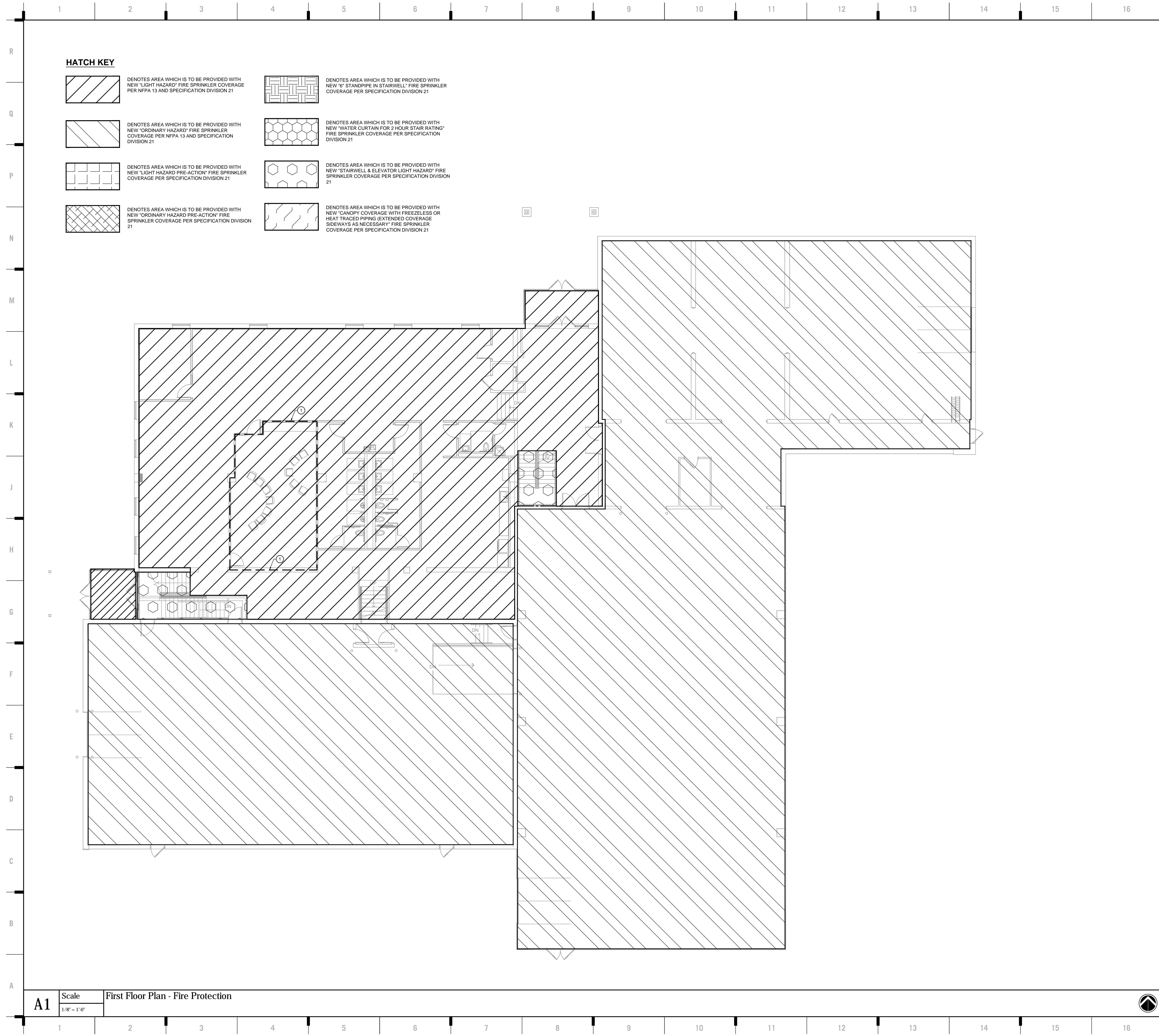
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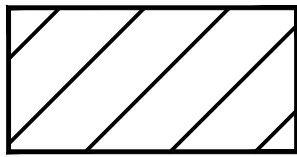
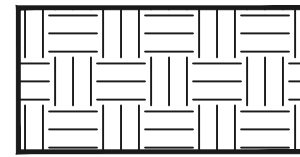
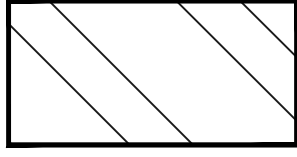
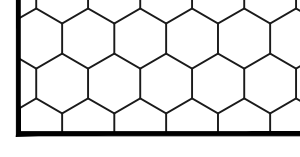
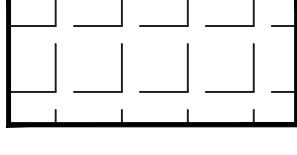
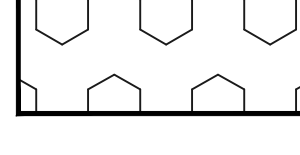

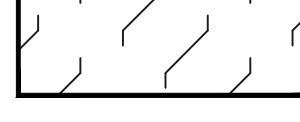
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JOB NO: 15078
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P700



HATCH KEY

	DENOTES AREA WHICH IS TO BE PROVIDED WITH NEW "LIGHT HAZARD" FIRE SPRINKLER COVERAGE PER NFPA 13 AND SPECIFICATION DIVISION 21		DENOTES AREA WHICH IS TO BE PROVIDED WITH NEW "6" STANDPIPE IN STAIRWELL" FIRE SPRINKLER COVERAGE PER SPECIFICATION DIVISION 21
	DENOTES AREA WHICH IS TO BE PROVIDED WITH NEW "ORDINARY HAZARD" FIRE SPRINKLER COVERAGE PER NFPA 13 AND SPECIFICATION DIVISION 21		DENOTES AREA WHICH IS TO BE PROVIDED WITH NEW "WATER CURTAIN FOR 2 HOUR STAIR RATING" FIRE SPRINKLER COVERAGE PER SPECIFICATION DIVISION 21
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SHEET KEYNOTE LEGEND

PLAN NOTES

① ROOM WILL BE AN AREA OF EMPHASIS. SPRINKLER MAINS SHALL NOT BE ROUTED WITHIN THE ROOM. BRANCH PIPING SHALL BE KEPT TO A MINIMUM AND ROUTED WITHIN THE W/UP-AROUND SOFFIT WHERE POSSIBLE. PIPING SHALL BE PAINTED TO MATCH CEILING. REFER TO ARCHITECTURAL PLANS FOR FURTHER INFORMATION.

GENERAL NOTES

- SPRINKLER CONTRACTOR IS RESPONSIBLE FOR VERIFYING HYDRANT FLOWS PRIOR TO ANY DESIGN CALCULATIONS AND LAYOUTS. WHAT IS SHOWN ON THESE PLANS IS SCHEMATIC AND IS BASED UPON REDUCING PIPING FRICTION LOSS WITHOUT THE NEED OF A FIRE PUMP. FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND FOLLOWING SAME PROCEDURES.
- A FLOWTEST WILL BE THE RESPONSIBILITY OF THE AWARDED SPRINKLER CONTRACTOR AND SHALL BE PROVIDED AS PART OF THE BID. SUBMIT FLOW TEST WITH SPRINKLER SUBMITTAL.
- SPRINKLER CONTRACTOR IS RESPONSIBLE FOR VERIFYING OCCUPANCY HAZARD CLASSIFICATION FOR AREAS TO BE PROVIDED WITH NEW SPRINKLER COVERAGE AS INDICATED ON PLANS.
- THE ENTIRE DESIGN SHALL BE A WET SYSTEM FOLLOWING NFPA 13 FOR ENTIRE BUILDING EXCEPT FOR ATTIC SPACE. THIS AREA SHALL BE PROTECTED WITH A DRY TIRE SYSTEM. LOCATION OF DRY TIRE COMPONENTS, VALVE, COMPRESSOR, ETC. SHALL BE LOCATED ON 3RD FLOOR STORAGE ROOM.
- SPRINKLER CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL LAWS, CODES AND ORDINANCES, NATIONAL FIRE PROTECTION ASSOCIATION, AND THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE ALL SCHEDULING, ELEVATIONS, SIZES, QUANTITIES, AND ROUTING OF WORK WITH OTHER TRADES. COORDINATE AND FIELD VERIFY SIZE, LOCATION, ELEVATION AND QUANTITY OF ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PIPING EQUIPMENT AND COMPONENTS THAT MAY IMPACT IMPLEMENTATION OF THIS WORK.
- UNLESS OTHERWISE INDICATED, ALL AREAS OF THE BUILDING SHALL BE "WET-PIPE" FIRE PROTECTION SYSTEM AS SHOWN ON PLANS.
- PROVIDE NEW QUICK-RESPONSE SPRINKLER HEADS FOR ALL AREAS INDICATED ON PLANS. FOR AREAS WITH UN-IN OR HARE CEILING, PROVIDE SEMI-RECESSED PENDANT HEADS WITH ESCUTCHEON PLATES INSTALLED IN CEILING (ALL PARTS SHALL BE POLISHED CHROME), UNLESS OTHERWISE NOTED. AREAS WITHOUT A CEILING OR ANY UNFINISHED AREA SHALL BE PROVIDED WITH BRASS, UN-PLATED, UPRIGHT PENDANT HEADS.
- REFER TO SPECIFICATIONS FOR FURTHER FIRE PROTECTION SYSTEM REQUIREMENTS NOT STATED ON PLANS.
- FIRE PROTECTION WORK SHALL BE INSTALLED BY A QUALIFIED CONTRACTOR (SPRINKLER FITTER OR PER JURISDICTIONAL REQUIREMENTS) WITH A MINIMUM 3 YEARS OF INSTALLATION EXPERIENCE ON PROJECTS WITH FIRE PROTECTION WORK SIMILAR TO THAT REQUIRED FOR THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL FLOW INFORMATION FOR DESIGN FROM UTILITY COMPANY. VERIFY EXACT READINGS AT CLOSEST LOCATION TO BUILDING.
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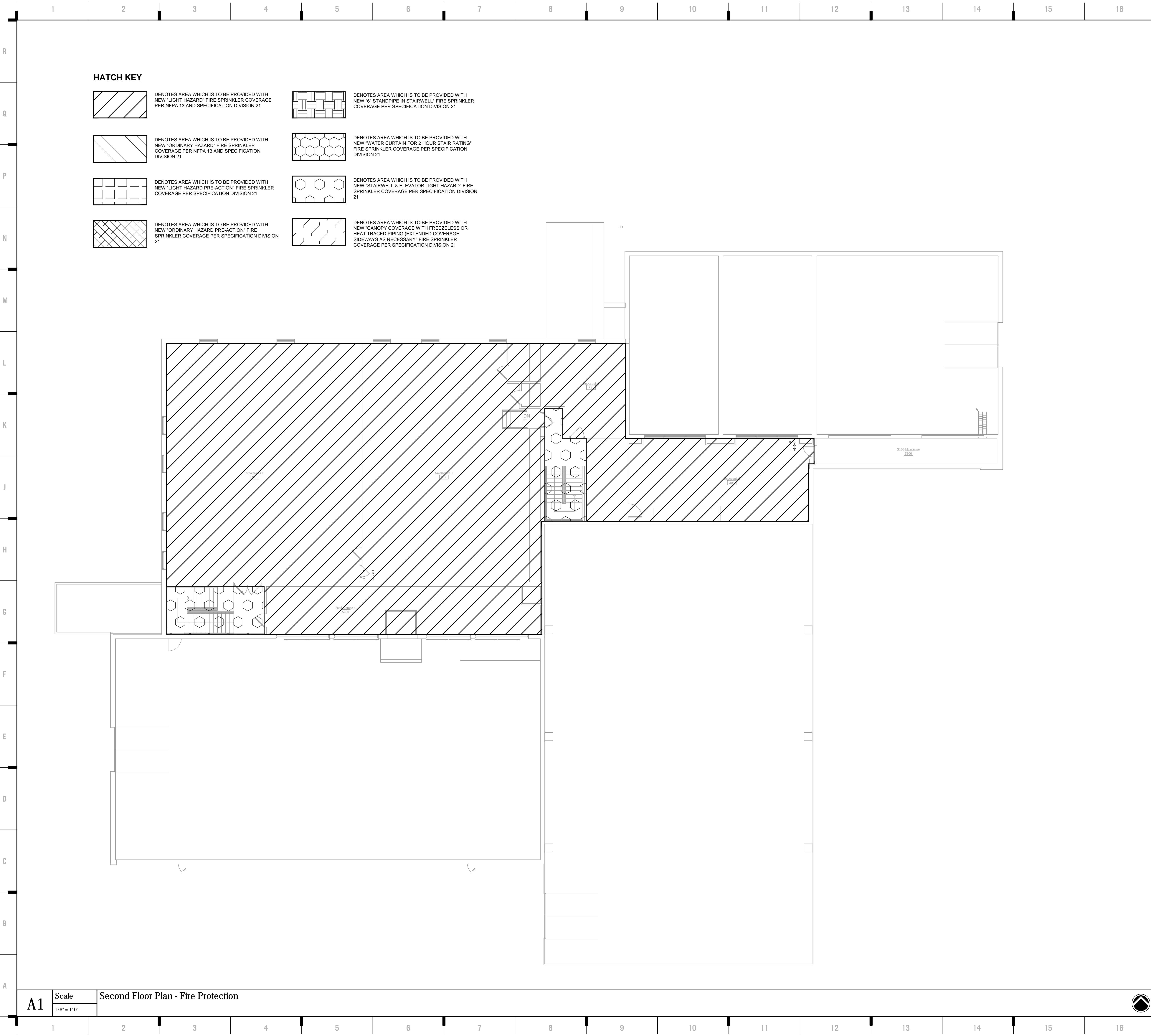
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The Professional Architect and Architectural Firm herein certify that the design and construction of this project is the result of their own professional skill and judgment, and that they are not providing any services that would constitute a conflict of interest, and that they are not providing any services that would constitute a conflict of interest.

JOB NO: 15078
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CHECKED BY: OA
DATE: 06.16.2016

FP101
OF



SHEET KEYNOTE LEGEND

GENERAL NOTES:

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HATCH KEY

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District Warehouse
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Independence, MO 64055

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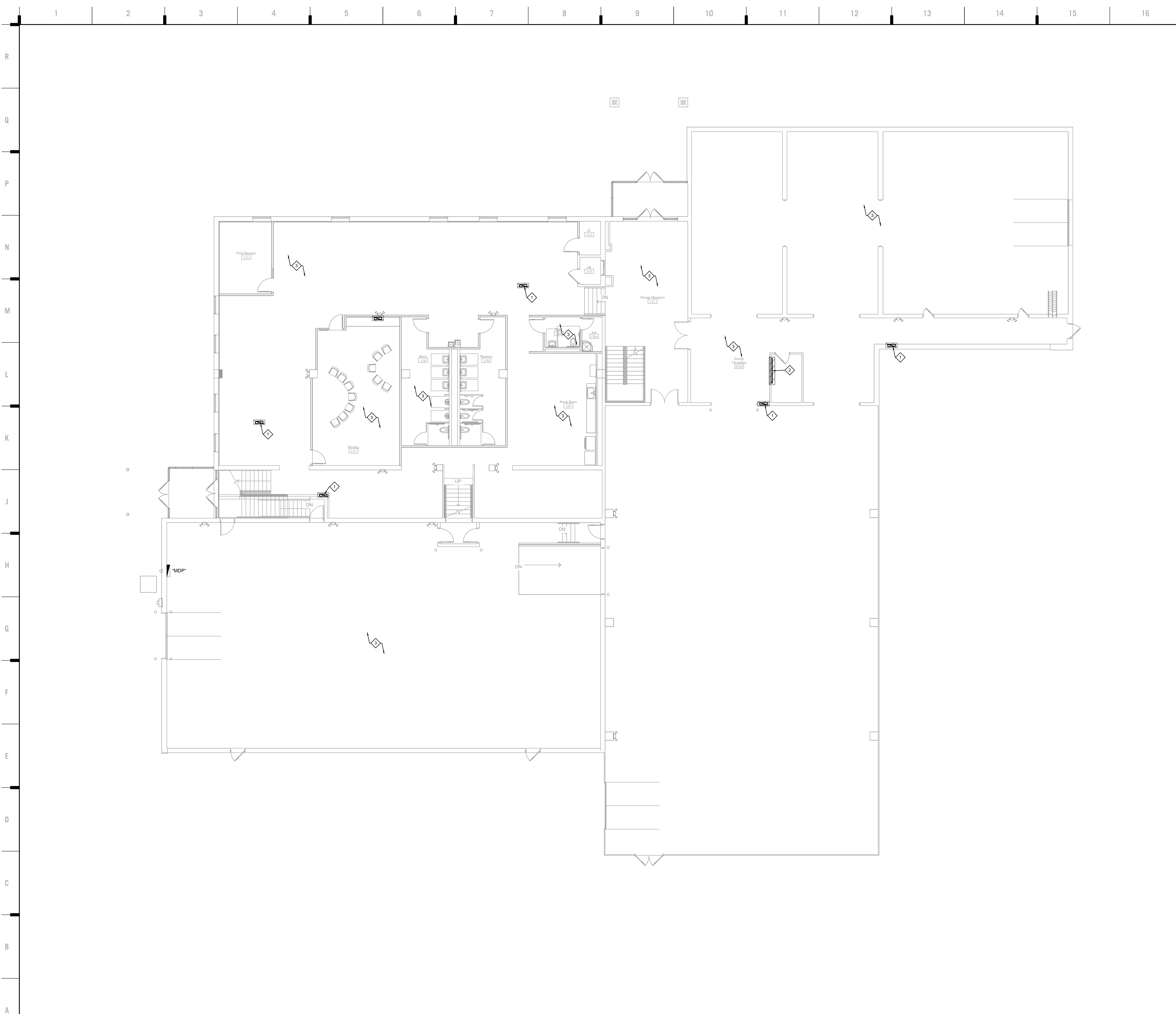
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The Professional Engineer's seal affixed to this document shall be the original and true copy of the seal. All drawings, information or other documents or matters that are not the original or true copy of the seal shall be void and the seal shall be the responsibility of the architect, and the architect accepts the liability for such plan, drawing or document and shall be held liable.

JOB NO: 15078
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DATE: 06.16.2016

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OF



SHEET KEYNOTE LEGEND

DEMOLITION PLAN NOTES:

- 1. ALL EXISTING PANELS TO BE COMPLETELY DEMOLISHED BACK TO SOURCE "MDP". ALL CONDUIT, FITTINGS, CONDUCTORS, ETC. SHALL BE DEMOLISHED.
- 2. EXISTING TELEPHONE/DATA EQUIPMENT TO BE MOVED FROM EXISTING LOCATION TO NEW IT ROOM (RM 115). ALL EQUIPMENT TO BE REPLACED AS NEEDED.
- 3. ALL LIGHTING WITHIN THIS AREA TO BE COMPLETELY DEMOLISHED BACK TO SOURCE. REMOVE ALL FIXTURES, FITTINGS, CONDUIT, CONDUCTORS, SUPPORTS, ETC. BACK TO SOURCE.

GENERAL NOTES:

- 1. REMOVE ALL DEMOLISHED MATERIALS FROM SITE AND DISPOSE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- 2. REPAIR OR REPLACE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING EQUIPMENT OR COMPONENTS DAMAGED WHILE EXECUTING THIS WORK. SUCH REPAIRS OR REPLACEMENTS SHALL MATCH OR EXCEED EXISTING EQUIPMENT OR COMPONENT FINISH AND QUALITY.
- 3. FIELD VERIFY SIZE, LOCATION, ELEVATION AND QUANTITY OF ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PIPING EQUIPMENT AND COMPONENTS THAT MAY IMPACT IMPLEMENTATION OF THIS WORK.
- 4. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL EQUIPMENT THAT IS REMOVED. ANY EQUIPMENT THAT THE OWNER CHOOSES NOT TO RETAIN SHALL BE DISPOSED OF BY CONTRACTOR.
- 5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED CONDITIONS.
- 6. PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. IF ANY DISCREPANCIES OCCUR FROM THESE PLANS, CONTACT A/E IMMEDIATELY.
- 7. CONTRACTOR SHALL IDENTIFY ALL ABANDONED PIPING, DUCTWORK, AND CONDUIT DISCOVERED IN THE EXECUTION OF THIS PROJECT, USING ORANGE PAINT MARKINGS EVERY 20 FEET.
- 8. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL ELECTRICAL SERVICES IN ALL DEMOLISHED WALLS REMOVED WHETHER INDICATED ON THESE PLANS OR NOT. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING BID. REFER TO THE ARCHITECTURAL DRAWINGS FOR DEMOLISHED WALLS.
- 9. REMOVE ALL ASSOCIATED CONDUIT, WIRE, J-BOXES, ETC. WHERE DEMOLISHED DEVICE IS THRU-WIRED FOR DEMOLISHED WIRING DEVICES (LIGHTING, RECEPTACLES, JUNCTION BOXES, TELEPHONE OUTLETS, ETC.) AND EQUIPMENT. MAINTAIN THE INTEGRITY OF THE EXISTING CIRCUIT. NO EXTRAS WILL BE PAID FOR MAINTAINING THE INTEGRITY OF AN EXISTING CIRCUIT WHERE A DEVICE AND ITS ASSOCIATED WIRING IS IN SERIES OF A BROKEN CIRCUIT. THESE ITEMS ARE CONCEALED AND CONNECT BE VERIFIED PRIOR TO WORK.
- 10. ALL EXISTING CONDUITS AND CIRCUITS, WHICH ARE ROUTED BELOW OR WITHIN EXISTING SLAB, SHALL BE CAPPED AND ABANDONED (IF APPLICABLE).

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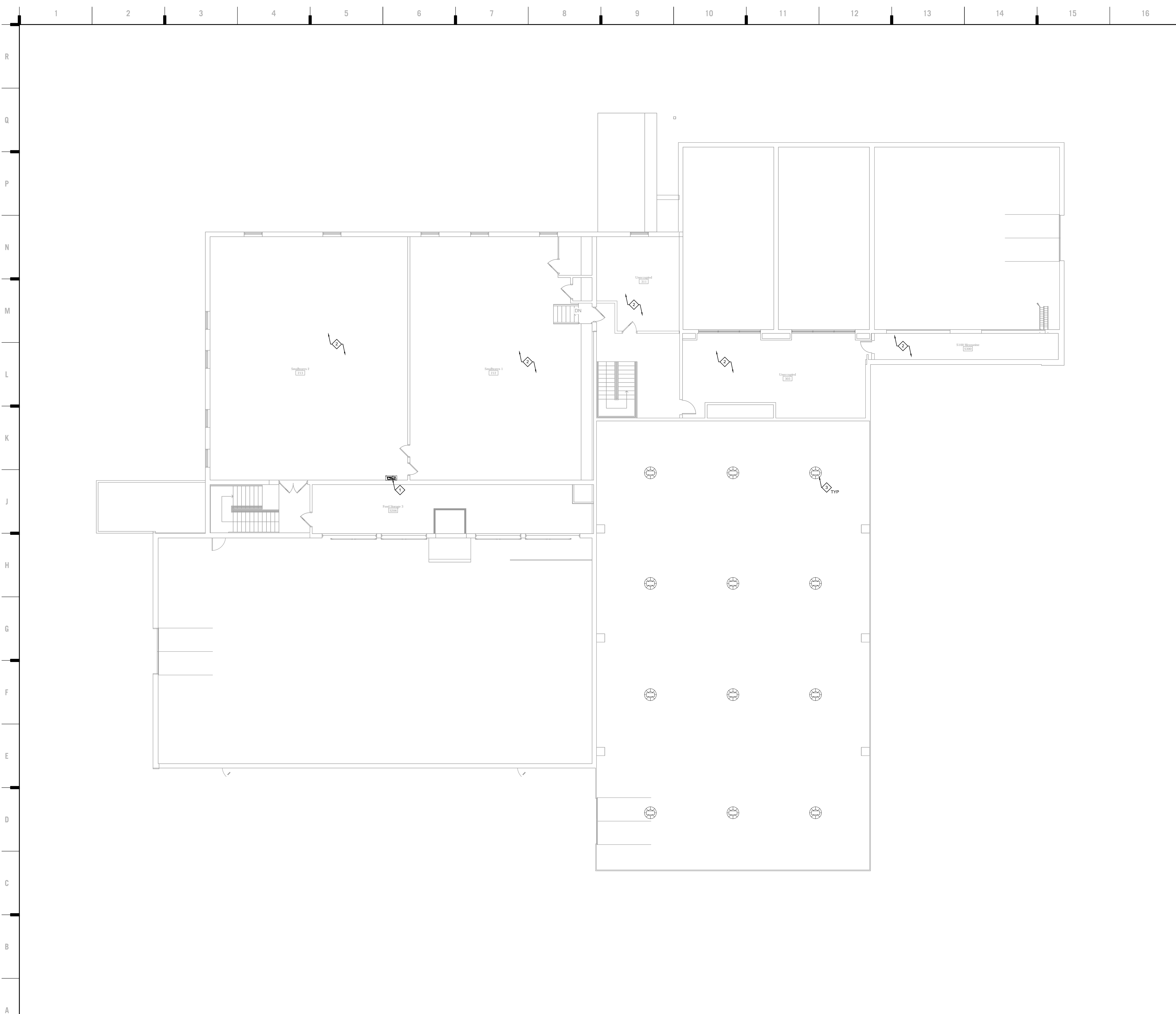
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JOB NO: 15078
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 CHECKED BY: OA
 DATE: 06.16.2016

ED101

A1 | Scale | First Floor Electrical Demolition Plan
 1/8" = 1'-0"

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SHEET KEYNOTE LEGEND

- DEMOLITION PLAN NOTES:**
- ◇ ALL EXISTING PANELS TO BE COMPLETELY DEMOLISHED BACK TO SOURCE "MDP". ALL CONDUIT, FITTINGS, CONDUCTORS, ETC SHALL BE DEMOLISHED.
 - ◇ ALL LIGHTING WITHIN THIS AREA TO BE COMPLETELY DEMOLISHED BACK TO SOURCE. REMOVE ALL FIXTURES, FITTINGS, CONDUIT, CONDUCTORS, SUPPORTS, ETC. BACK TO SOURCE.
 - ◇ EXISTING HIGH BAY GYM LIGHTING TO BE RELAMPED WITH LED EQUIVALENT LAMPS, AND RECIRCUITED PER NEW PLANS.

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ED102

OF

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SHEET KEYNOTE LEGEND

ELECTRICAL PLAN NOTES:

- 1 TIE TO SECOND LEVEL LIGHTING CIRCUIT.
- 2 CIRCUIT ALL EXISTING EMERGENCY LIGHTING WITH AN UNSWITCHED HOT WIRE.
- 3 REFER TO LIGHTING WIRING DIAGRAM 6 FOR DETAILS.
- 4 REFER TO DETAIL 3/E601 FOR MOUNTING.
- 5 SWITCHES TIED TO SECOND LEVEL LIGHT FIXTURES.
- 6 LINE VOLTAGE OCCUPANCY SENSOR REFER TO OCCUPANCY SENSOR SCHEDULE FOR DETAILS.
- 7 MOUNT SUSPENDED FIXTURE IN THIS SPACE AT 9'-0" AFF.
- 8 PROVIDE 3-WAY OCCUPANCY WALL SWITCH.
- 9 ROUTE POWER FOR CANOPY LIGHTING THROUGH PHOTOCELL FACING NORTH.

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Structure # 200602120

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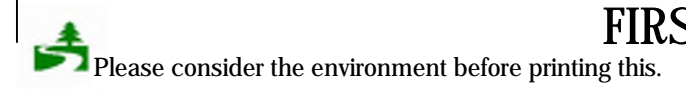
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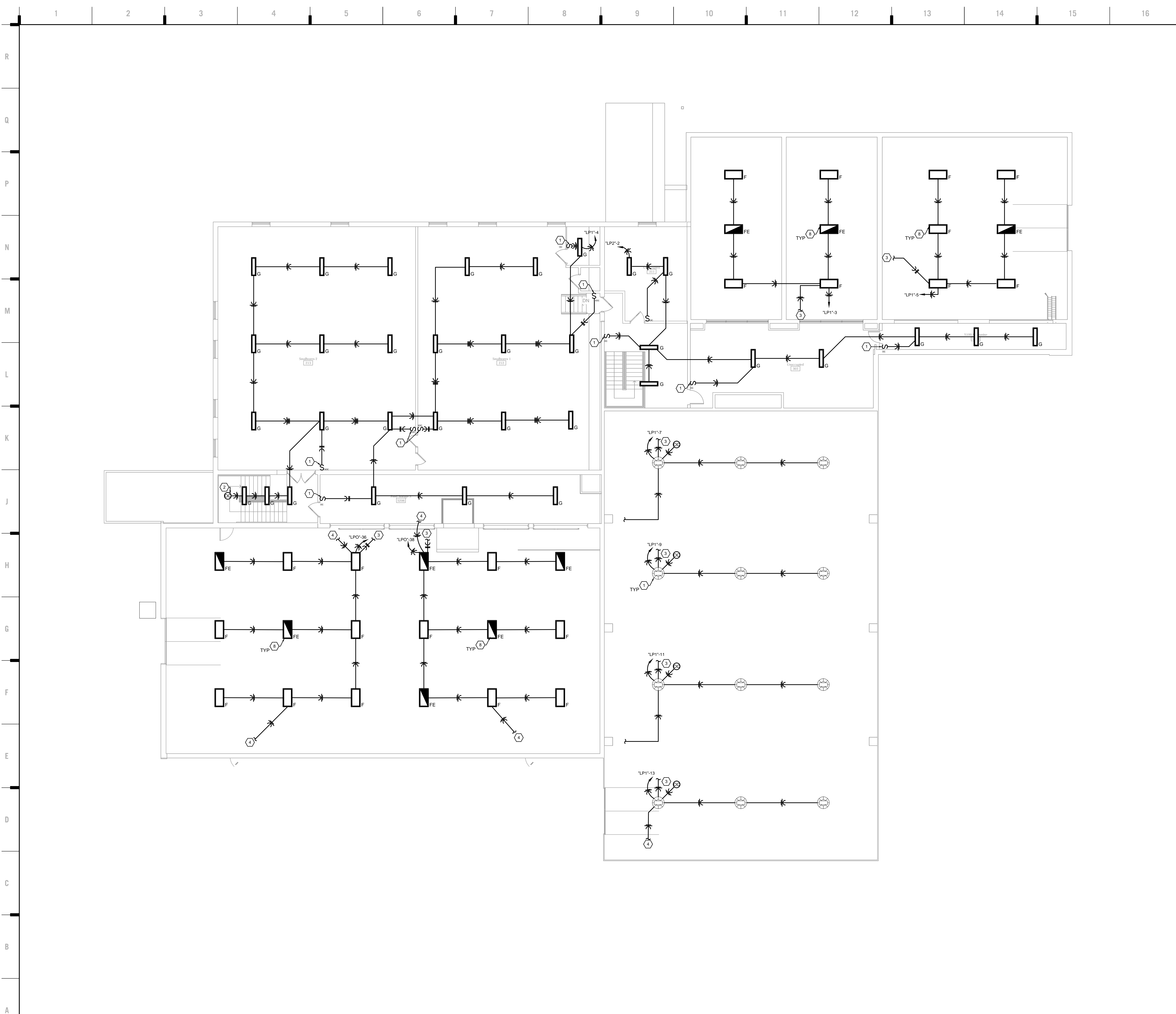
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E101



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SHEET KEYNOTE LEGEND

ELECTRICAL PLAN NOTES:

- ① LINE VOLTAGE OCCUPANCY SENSOR EQUAL TO LEVITON DE SERIES WALL SWITCH.
- ② PROVIDE LINE VOLTAGE OCCUPANCY SENSOR EQUAL TO LEVITON ODC08-17.
- ③ TO LIGHTING SWITCH ON FIRST FLOOR.
- ④ TO LIGHTING FIXTURE ON FIRST FLOOR.

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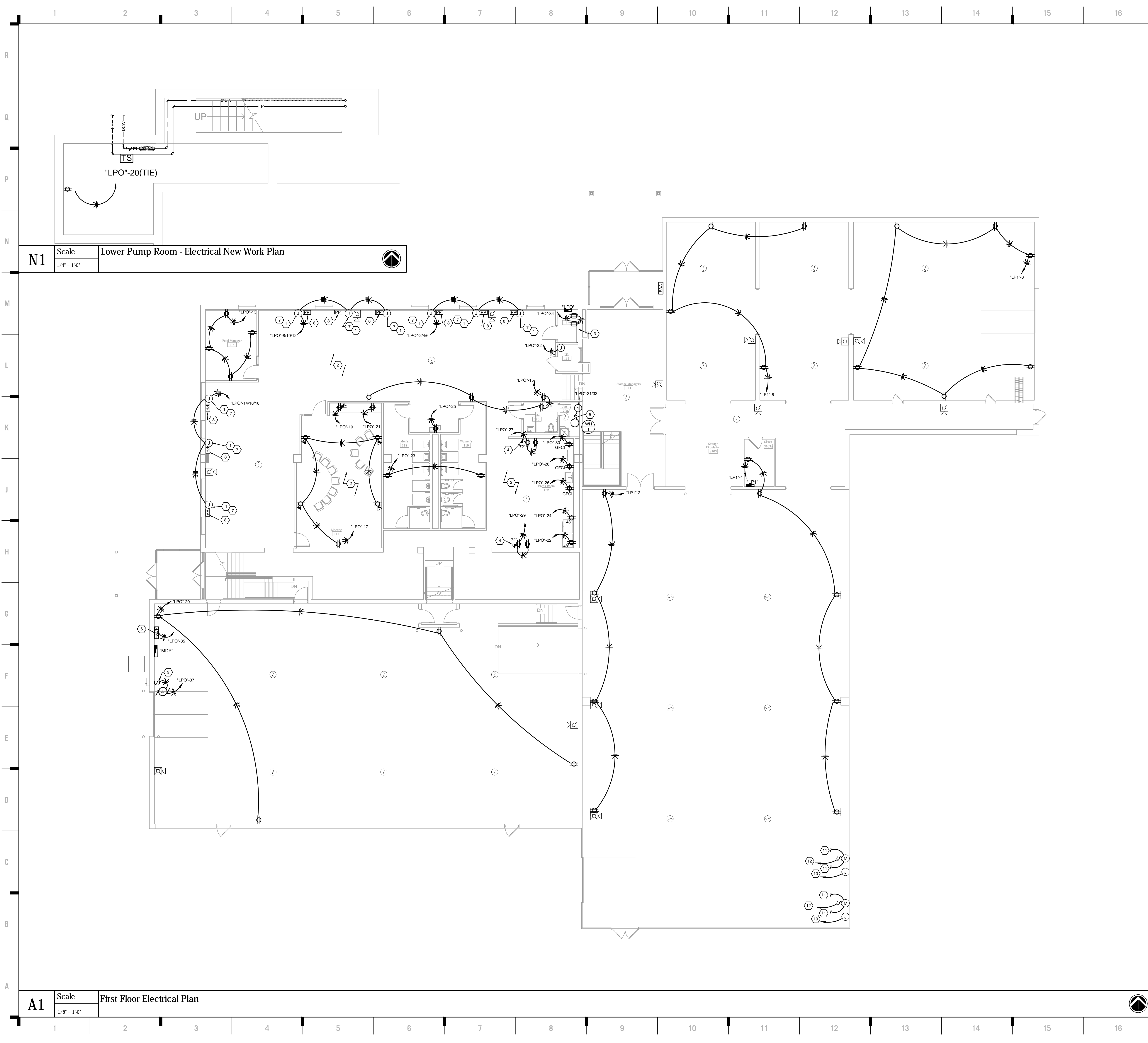


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E102
OF

A1 Scale 1/8" = 1'-0" **Second Floor Lighting Plan**



N1 Scale 1/4" = 1'-0" Lower Pump Room - Electrical New Work Plan

A1 Scale 1/8" = 1'-0" First Floor Electrical Plan

SHEET KEYNOTE LEGEND

ELECTRICAL PLAN NOTES:

- 1 PROVIDE J-BOX/CONDUIT MOUNTED WITHIN CEILING FOR CUBICLE POWER FEED CONNECTION. ROUTE CIRCUIT THROUGH POWER POLE FOR CONNECTION TO SYSTEMS FURNITURE. SURFACE MOUNT J-BOX AND COORDINATE EXACT COLOR WITH ARCHITECT. COORDINATE EXACT CONNECTION WITH FURNITURE PROVIDER.
- 2 FOR ALL EXPOSED CONDUIT, FITTING, DEVICES, ETC. WITHIN MEETING ROOM COORDINATE EXACT COLOR AND LOCATION WITH ARCHITECT.
- 3 ALL TELEPHONE/DATE EQUIPMENT SHALL BE LOCATED TO NEW IT ROOM FOLLOWING DEMOLITION TO BE RELOCATED TO THIS ROOM.
- 4 PROVIDE ROUGH-IN FOR TV. INSTALL 2-GANG JUNCTION BOX AT 7' AFF WITH TV HOOKUP AND DUPLEX RECEPTACLE.
- 5 PROVIDE 30A, 20A, 16 RATED TOGGLE DISCONNECT. IN NEMA 1 ENCLOSURE MOUNTED NEXT TO WATER HEATER. MAKE ALL FINAL CONNECTIONS.
- 6 REFER TO FIRE ALARM RISER DIAGRAM FOR MORE DETAILS.
- 7 PROVIDE JUNCTION BOX WITH SINGLE GANG MUD RING FOR VOICEDATA CONNECTION TO SYSTEMS FURNITURE. ROUTE THROUGH POWER POLE AND MAKE ALL FINAL CONNECTIONS TO SYSTEMS FURNITURE. COORDINATE EXACT LOCATION OF ROUGH-IN WITH SYSTEMS FURNITURE PROVIDER.
- 8 PROVIDE POWER POLE EQUAL TO WIREMOLD LV662345 WITH W/FF PLATE MOUNTED AT 12" AFF FOR ALL VOICEDATA AND POWER. COORDINATE EXACT COLOR WITH ARCHITECT. COORDINATE EXACT CONNECTION WITH FURNITURE PROVIDER.
- 9 PROVIDE 3-POSITION MOMENTARY CONTACT SWITCH FOR OVERHEAD DOOR. GREY IN COLOR WITH STAINLESS STEEL COVERPLATE.
- 10 COOLER/FREEZER EVAPORATOR FED FROM ABOVE. PROVIDE 1" CONDUIT UP TO JUNCTION BOX MOUNTED AT CEILING FOR PATHWAY FOR FREEZER/COOLER INTERLOCK.
- 11 JUNCTION BOX FED FROM ABOVE FOR CONNECTION TO FUTURE COOLER LIGHTS.
- 12 PROVIDE 0.75" CONDUIT BACK TO PANEL 'LP1' FOR FUTURE WIRING OF COOLER/FREEZER.

FEEDER SCHEDULE:

- 1 (2) #8 & (1) #10 IN 0.75" C

GENERAL NOTES:

- 1 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE CITY OF INDEPENDENCE, MISSOURI.
- 2 PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
- 3 COOPERATE CLOSELY WITH ALL OTHER TRADES TO EXPEDITE CONSTRUCTION AND AVOID INTERFERENCES AND CONFLICTS. BEFORE ANY PIPING, DUCTWORK, CONDUIT, ETC. IS INSTALLED, IT SHALL BE COORDINATED CAREFULLY BETWEEN ALL TRADES.
- 4 CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT, ACCESSORIES, AND MATERIAL FURNISHED BY HIM FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS.
- 5 ALL WIRING SHALL BE INSTALLED IN CONDUIT AND BE CONCEALED. REFER TO CONDUIT APPLICATION SCHEDULE.
- 6 ALL POWER CIRCUITS SHALL HAVE A GROUNDING CONDUCTOR.
- 7 REPAIR OR REPLACE ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING EQUIPMENT OR COMPONENTS DAMAGED WHILE EXECUTING THIS WORK. SUCH REPAIRS OR REPLACEMENTS SHALL MATCH OR EXCEED EXISTING EQUIPMENT OR COMPONENT FINISH AND QUALITY.
- 8 CONTRACTOR SHALL COORDINATE ALL SCHEDULING, ELEVATIONS, SIZES, QUANTITIES, AND ROUTING OF WORK WITH OWNER AND OTHER TRADES.
- 9 FOR ANY EMERGENCY FIXTURE OR NIGHT LITE FIXTURE, A CONSTANT HOT CONDUCTOR SHALL BE ROUTED TO FIXTURE WHETHER SHOWN OR NOT.
- 10 REFER TO ARCHITECTURAL PLANS AND INTERIOR ELEVATIONS FOR ALL WALL FIXTURE MOUNTING HEIGHTS AND INSTALLATION DETAILS.
- 11 EXIT LIGHT FIXTURES MOUNTED ON WALLS SHALL BE AT 12" ABOVE HEADER OR PER ON DRAWING ELEVATIONS.
- 12 ALL CONTINUOUS LINEAR RECESSED FIXTURES SHALL BE COORDINATED WITH LAY-IN CEILING CONTRACTOR.
- 13 CONTRACTOR SHALL REPAIR OR REPLACE LAY-IN OR GYPSUM BOARD CEILING AS NECESSARY TO INSTALL NEW DUCTWORK, PIPING AND ELECTRICAL CONDUITS.
- 14 FIELD VERIFY SIZE, LOCATION, ELEVATION AND QUANTITY OF ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PIPING EQUIPMENT AND COMPONENTS THAT MAY IMPACT IMPLEMENTATION OF THIS WORK.
- 15 CONTRACTOR SHALL COORDINATE ALL SCHEDULING, ELEVATIONS, SIZES, QUANTITIES, AND ROUTING OF WORK WITH OWNER AND OTHER TRADES.
- 16 ELECTRICAL CONTRACTOR SHALL PROVIDE DEVICE AND EQUIPMENT LABELING PER THE SPECIFICATIONS. ALL PANEL BOARDS SHALL BE PROVIDED WITH AN UPDATED TYPED CIRCUIT DIRECTORY WITH CIRCUIT NUMBER AND EQUIPMENT SERVED.
- 17 ALL ELECTRICAL BOXES SHALL BE GALVANIZED STEEL. BACK BOXES MOUNTED ON GALVANIZED STUDS SHALL HAVE BETWEEN-STUD MOUNTING BRACKETS EQUAL TO CADDY RBS16 OR RBS24. PROVIDE 3/4" MUD RINGS WHERE LOCATED IN WALLS WITH 5/8" THICK GYPSUM WALLBOARDS.
- 18 WHERE A DEVICE IS TO BE MOUNTED ON A BLOCK OR CONCRETE WALL, PROVIDE SURFACE MOUNTED BOX AND RACEWAY.
- 19 ALL CONDUIT STUBS SHALL BE TERMINATED WITH BUSHINGS.

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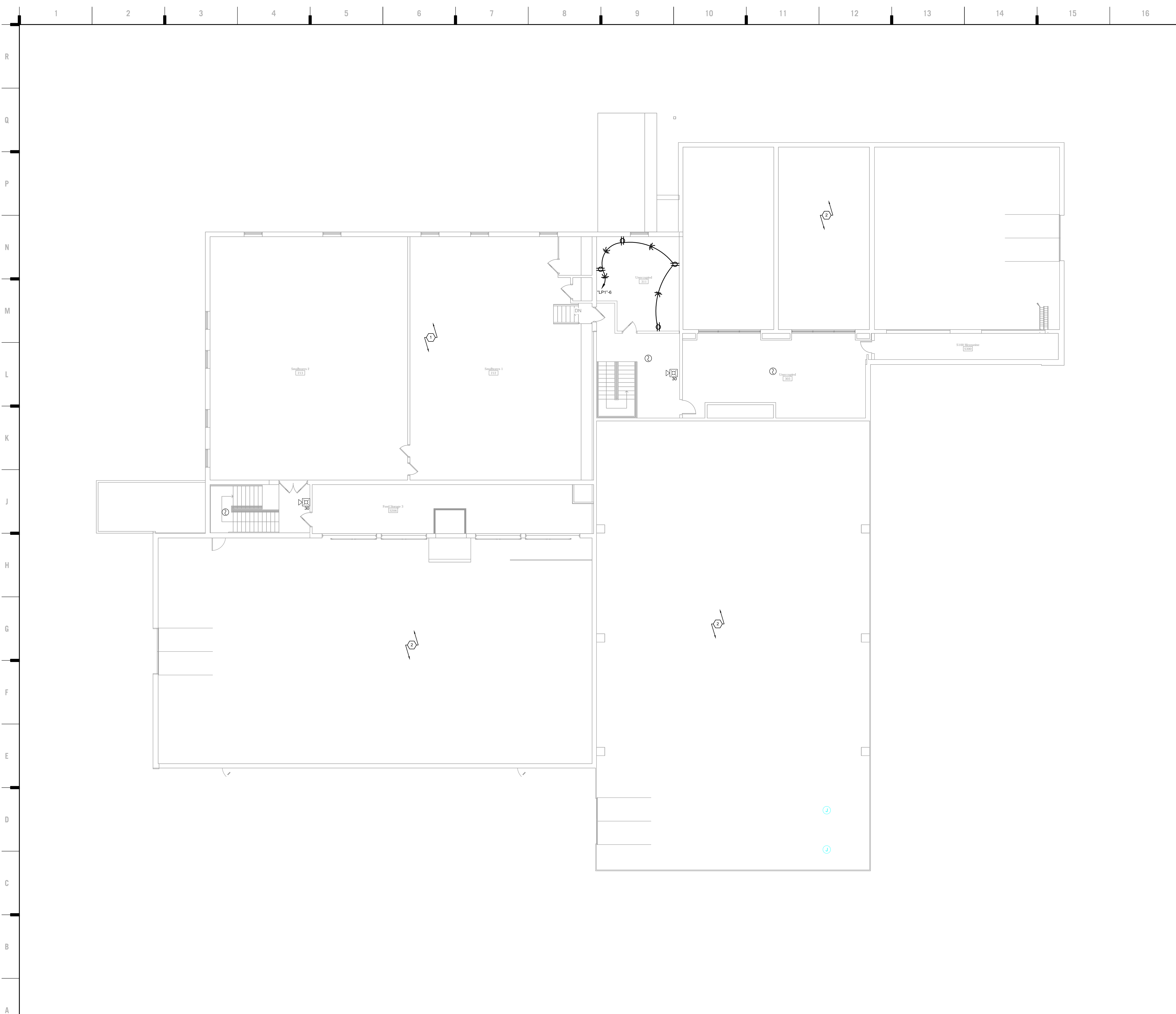
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E201
OF



SHEET KEYNOTE LEGEND

ELECTRICAL PLAN NOTES:

- ① ALL EXISTING RECEPTACLES ON SECOND FLOOR THAT ARE NOT INCLUDED IN DEMOLITION ARE TO BE RE-FEED FROM "LP1". PROVIDE NEW 20A, 1P BREAKER, REFER TO PANEL SCHEDULE FOR DETAILS.
- ② NO WORK IN THESE AREAS ON SECOND FLOOR.
- ③ CONTRACTOR TO PROVIDE JUNCTION BOX WITH 1" CONDUIT DOWN TO INTERLOCK OF FUTURE COOLER/ FREEZER WITH PULLSTRING.

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E202
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A1 Scale 1/8" = 1'-0" **Second Floor Electrical Plan**

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SHEET KEYNOTE LEGEND

ELECTRICAL PLAN NOTES:

- ① NEW PANELS PROVIDED DURING PHASE 2 NEW WORK.
- ② EXISTING MDP TO REMAIN AS INSTALLED. ALL EXISTING BREAKERS INSTALLED DURING PHASE ONE TO BE USED FOR WORK IN PHASE 2.

DEMOLITION PLAN NOTES:

- ③ COMPLETELY DEMOLISH ALL GEAR CONNECTED TO EXISTING MAIN DISTRIBUTION PANEL "MDP". DEMOLISH ALL CONDUITS, FITTINGS, SUPPORTS, CONDUCTORS BACK TO SOURCE. ALL CIRCUIT BREAKERS WITHIN PANEL TO BE PREPARED FOR NEW WORK. WIRE/CONDUIT INSTALLED DURING PHASE 1 MAY BE REUSED FOR INSTALLATION OF PHASE 2.

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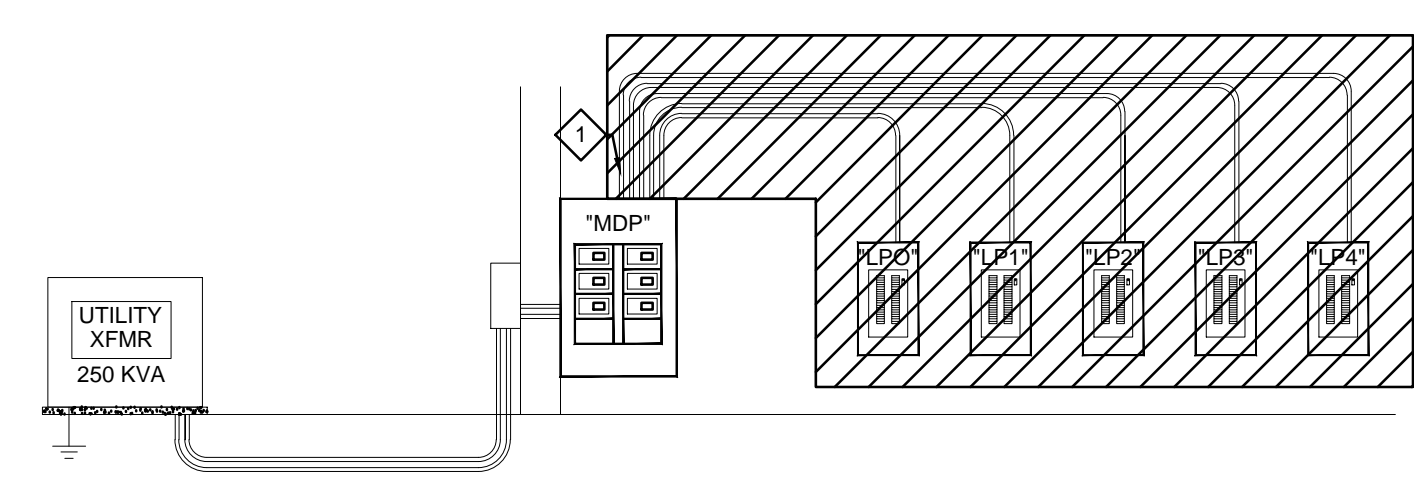
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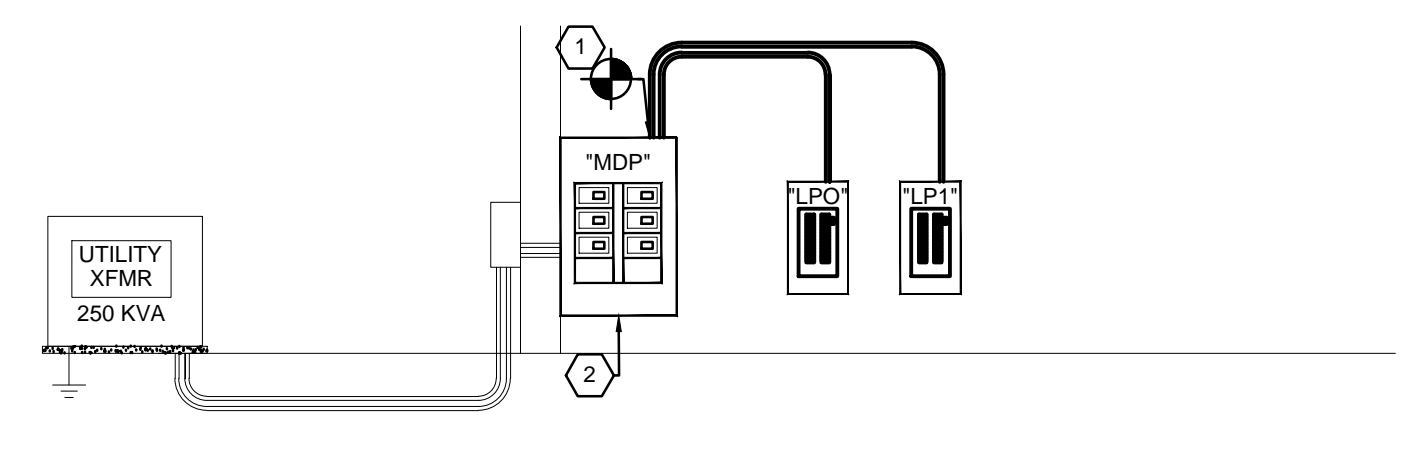
E501

FEEDER CIRCUIT COPPER CONDUCTOR AND CONDUIT SIZE		
MARK	OVERCURRENT PROTECTION DEVICE RATING (AMPS)	REQUIRED CONDUCTOR & GROUNDING CONDUCTOR SIZE(S)
S-1200-4	1200	4 SETS OF: (4) #500-MCM (all) IN 3" C.
C-1200	1200	4 SETS OF: 3" CONDUIT ONLY
C-800	800	2 SETS OF: 3-1/2" CONDUIT ONLY
C-600	600	2 SETS OF: 3" CONDUIT ONLY
C-400	400	2 SETS OF: 2" CONDUIT ONLY
C-300	300	(1) 3" CONDUIT ONLY
C-225	225	(1) 2-1/2" CONDUIT ONLY
C-200	200	(1) 2" CONDUIT ONLY
C-100	100	(1) 2" CONDUIT ONLY
400-4	400	2 SETS OF: (4) #3/0-AWG (cu), (1) #3-AWG (cu) G. IN 2" C.
400-3	400	2 SETS OF: (3) #3/0-AWG (cu), (1) #3-AWG (cu) G. IN 2" C.
400-4CN	400	(4) #500-MCM (cu), (1) #3-AWG (cu) G. IN 3-1/2" C.
300-4	300	(4) #350-MCM (cu), (1) #4-AWG (cu) G. IN 3" C.
300-3	300	(3) #350-MCM (cu), (1) #4-AWG (cu) G. IN 3" C.
225-4	225	(4) #4/0-AWG (cu), (1) #4-AWG (cu) G. IN 2-1/2" C.
225-3	225	(3) #4/0-AWG (cu), (1) #4-AWG (cu) G. IN 2-1/2" C.
200-4	200	(4) #3/0-AWG (cu), (1) #6-AWG (cu) G. IN 2" C.
200-3	200	(3) #3/0-AWG (cu), (1) #6-AWG (cu) G. IN 2" C.

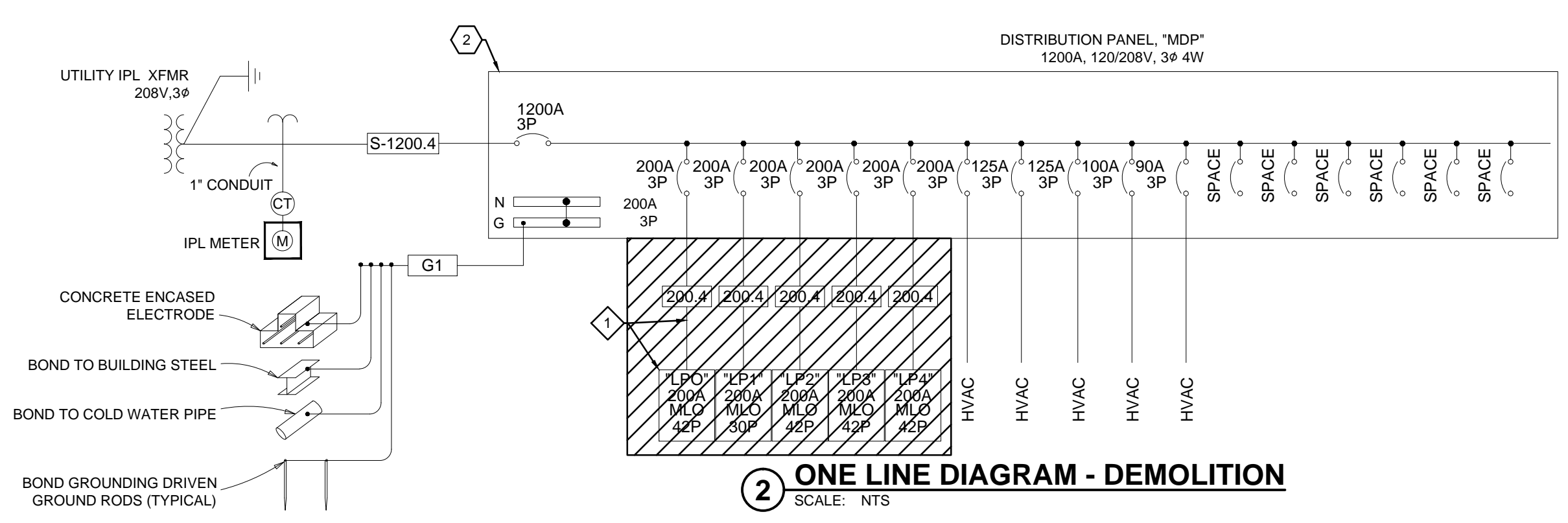
GROUNDING ELECTRODE CONDUCTOR REQUIRED SIZE		
MARK	CONDUCTOR AMPACITY RATING (AMPS)	REQUIRED GROUNDING ELECTRODE CONDUCTOR
G-1200	1200	#3/0-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-800	800	#3/0-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-600	600	#2/0-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-400	400	#1/0-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-300	300	#2-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-225	225	#2-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-200	200	#4-AWG (cu) - INSTALL PER NEC. BOND TO ALL GROUNDING ELECTRODES (DRIVEN GROUND ROD, WATER SERVICE, BUILDING STEEL, CONCRETE ENCLOSED REBAR)
G-100	100	#6-AWG (cu) - INSTALL PER NEC. BOND TO NEAREST BUILDING STEEL IN ACCORDANCE WITH NEC 250.30



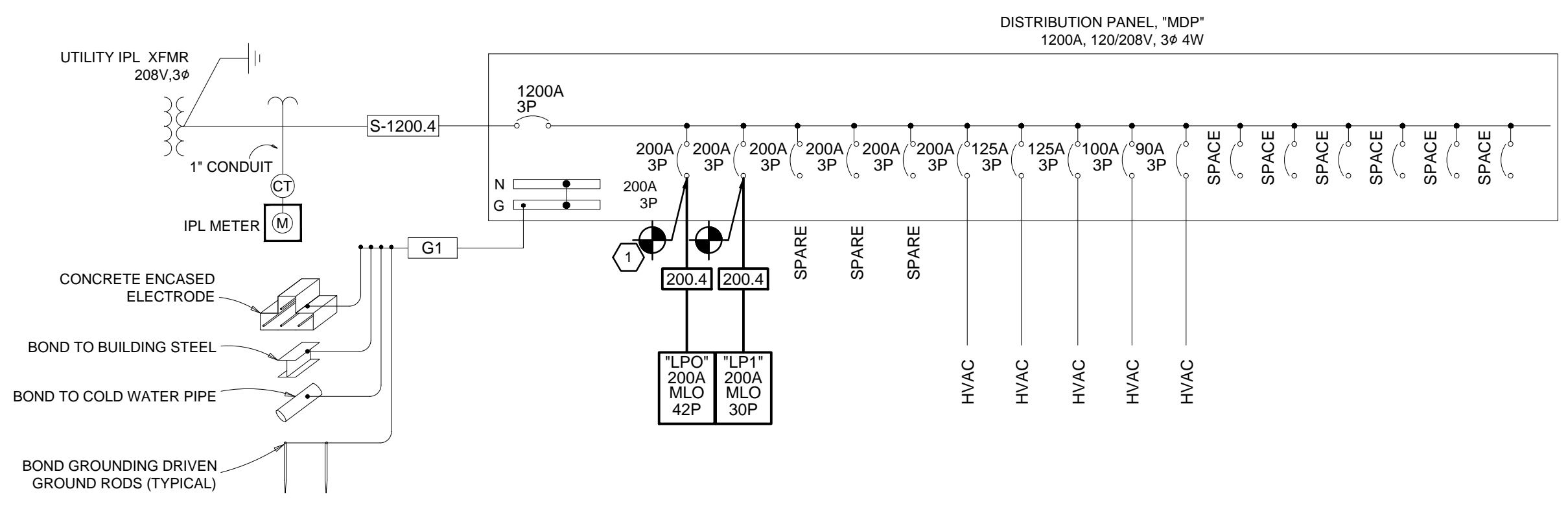
③ RISER DIAGRAM - DEMOLITION
SCALE: NTS



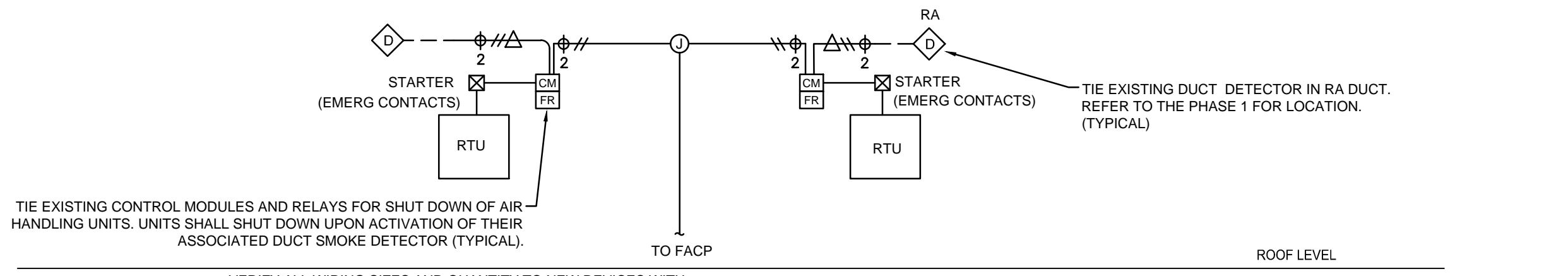
② RISER DIAGRAM - NEW WORK
SCALE: NTS



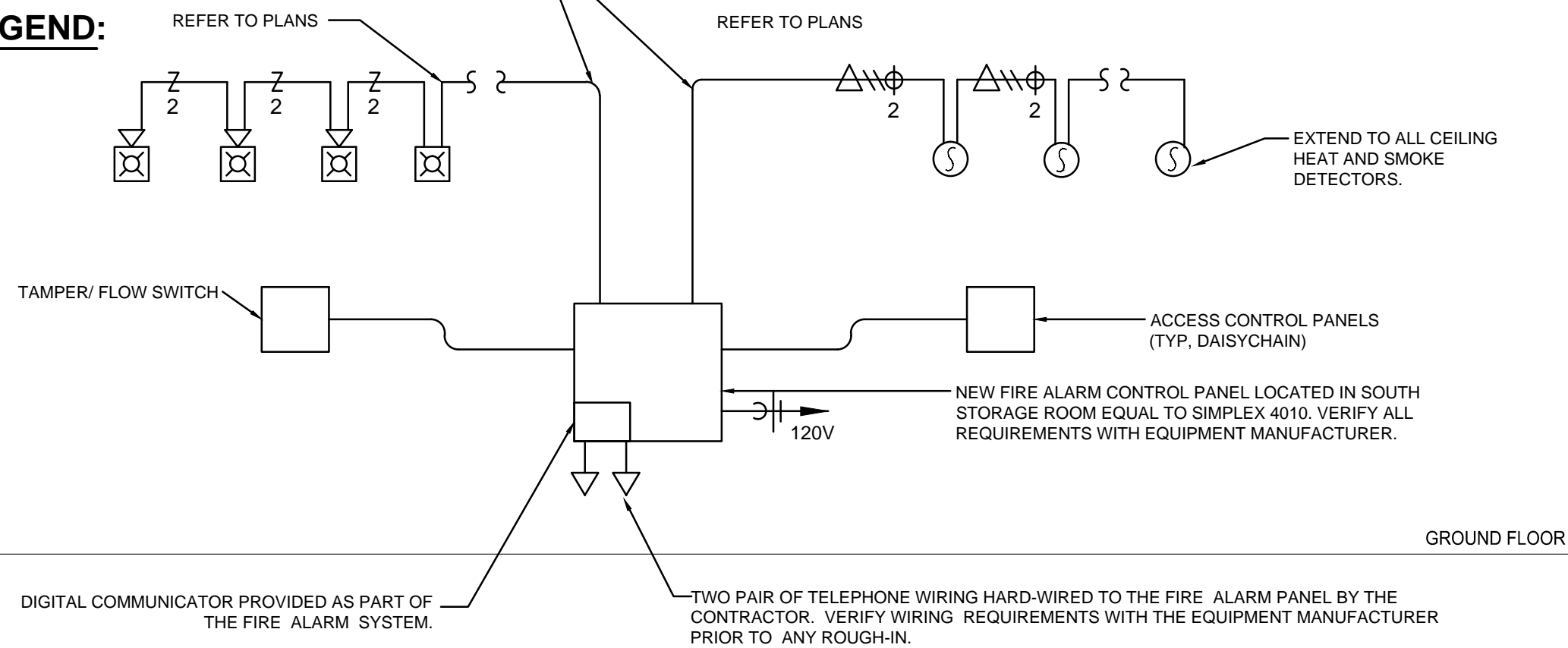
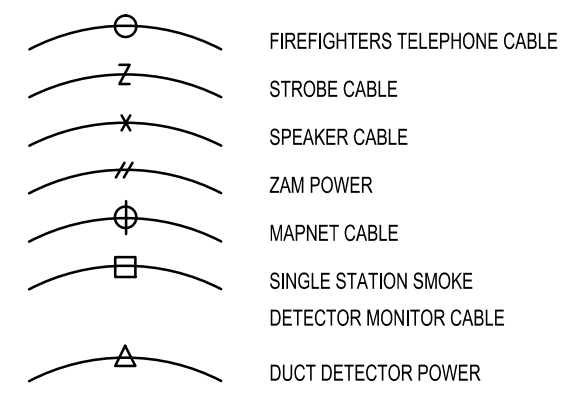
② ONE LINE DIAGRAM - DEMOLITION
SCALE: NTS



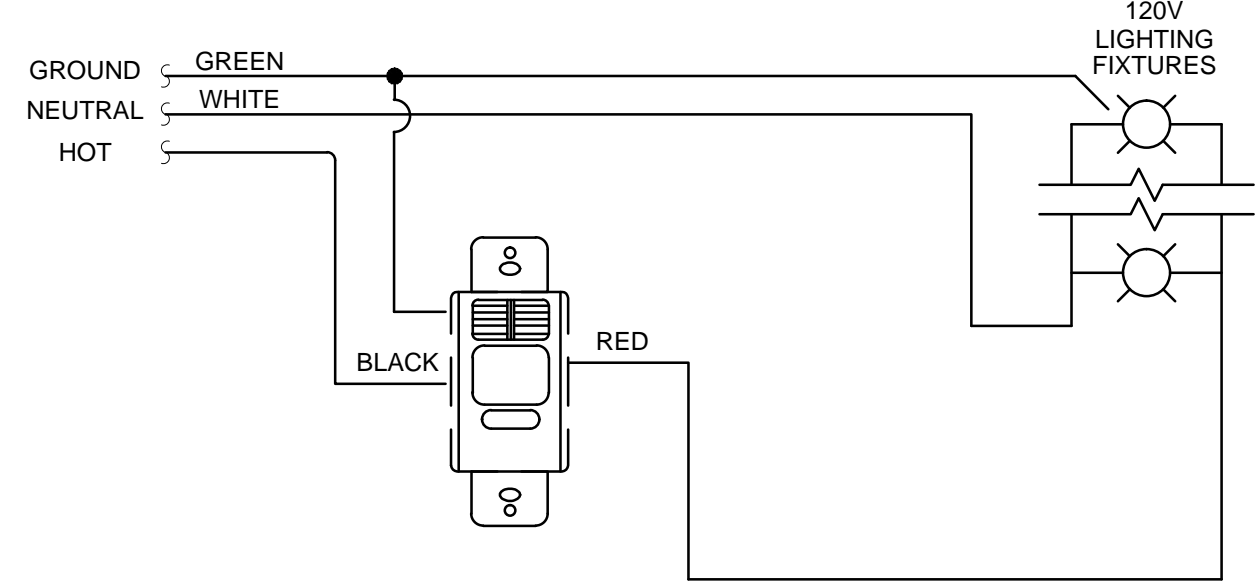
① ONE LINE DIAGRAM - NEW WORK
SCALE: NTS



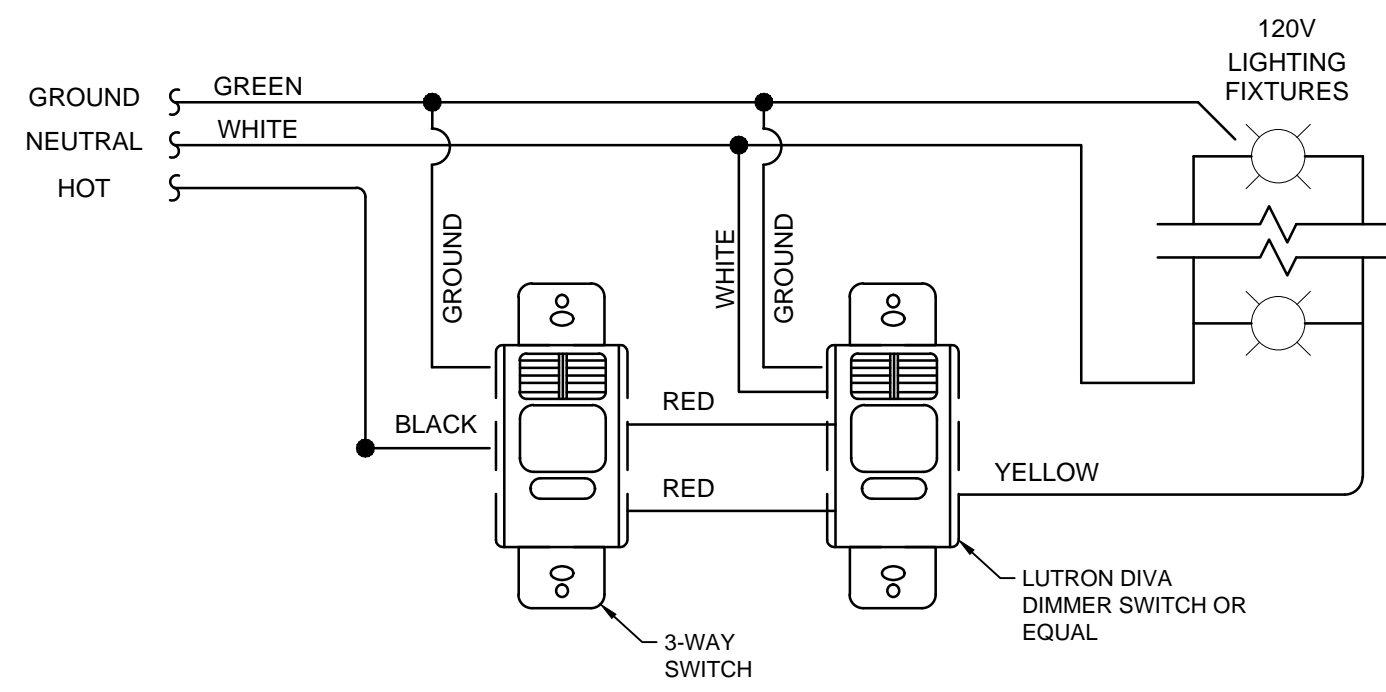
FIRE ALARM WIRING LEGEND:



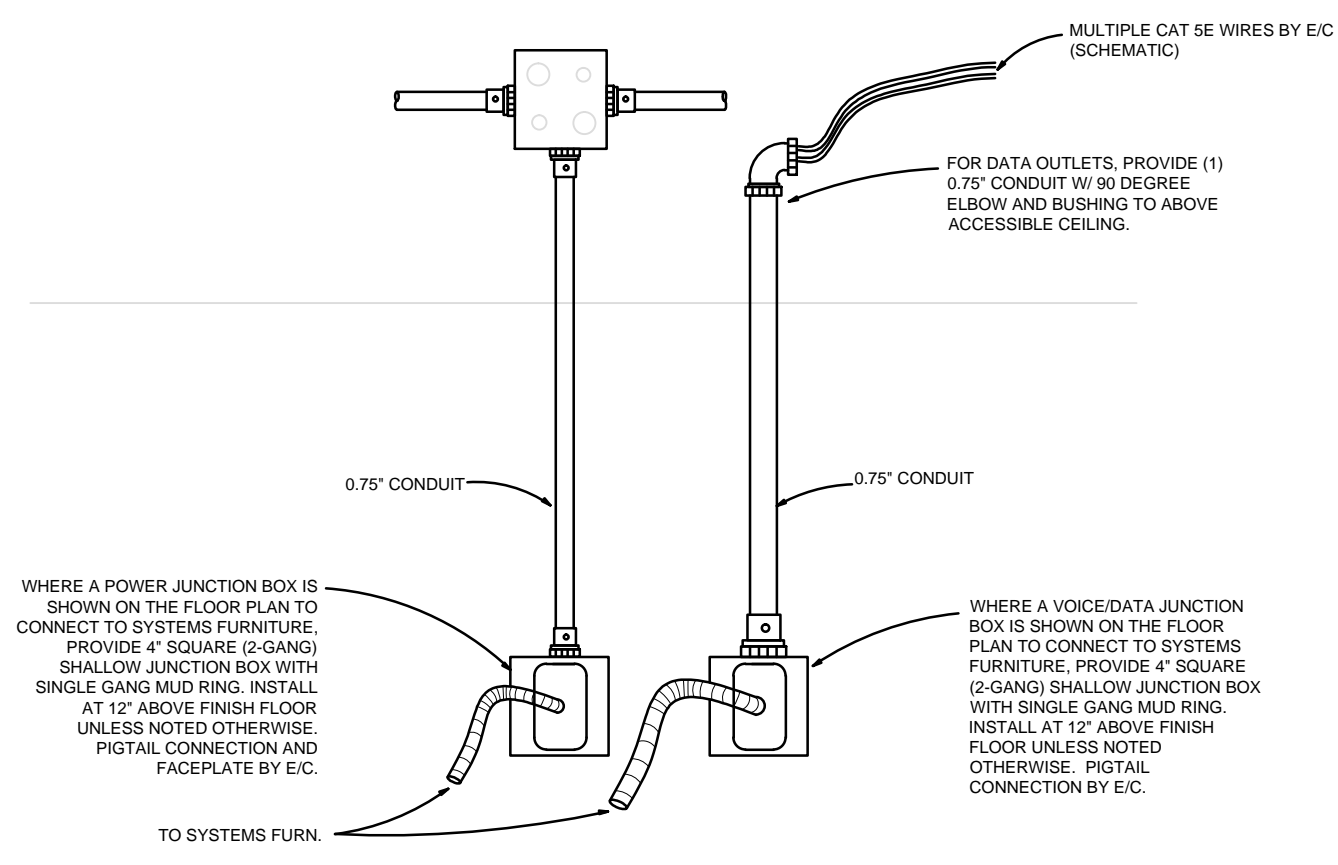
8 FIRE ALARM RISER DIAGRAM
SCALE: NONE



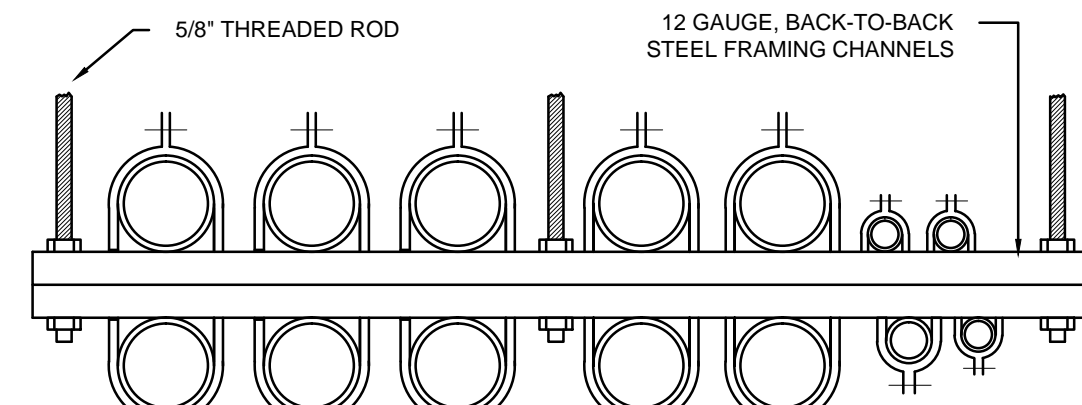
7 OCCUPANCY SENSOR WIRING DIAGRAMS
SCALE: NTS



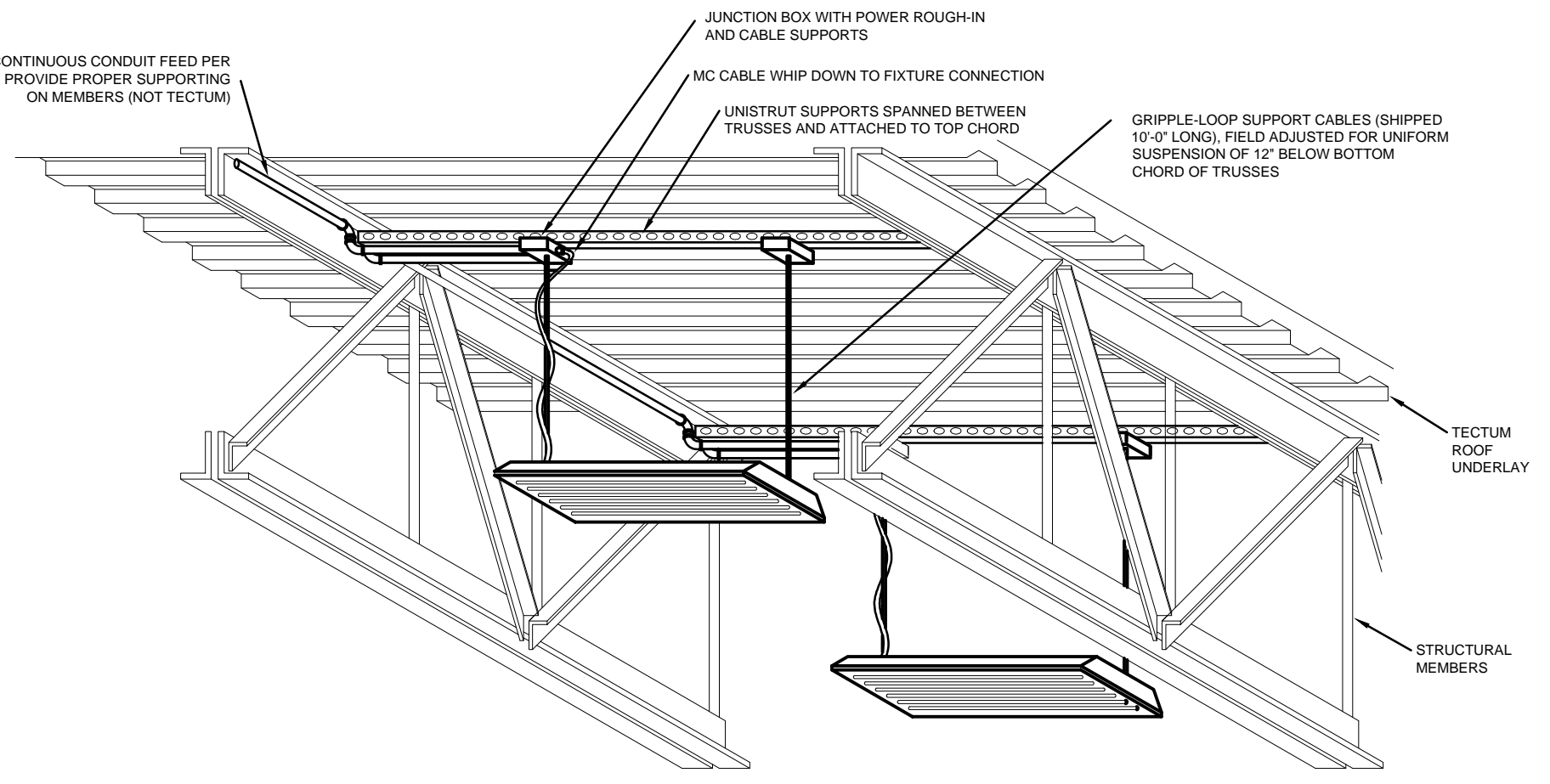
6 LIGHTING CONTROLS DIAGRAM
SCALE: NTS



5 WALL SYSTEMS FURNITURE ROUGH-IN DETAIL
SCALE: NONE



4 CONDUIT MOUNTING - TYPICAL
SCALE: NONE



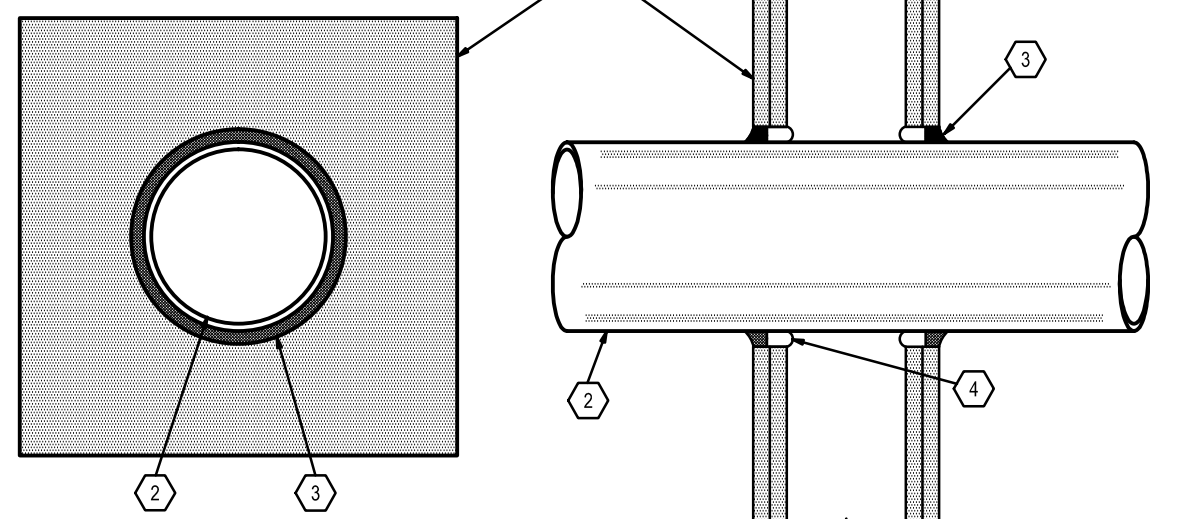
3 LIGHTING MOUNTING DETAIL
SCALE: NTS

NOTES

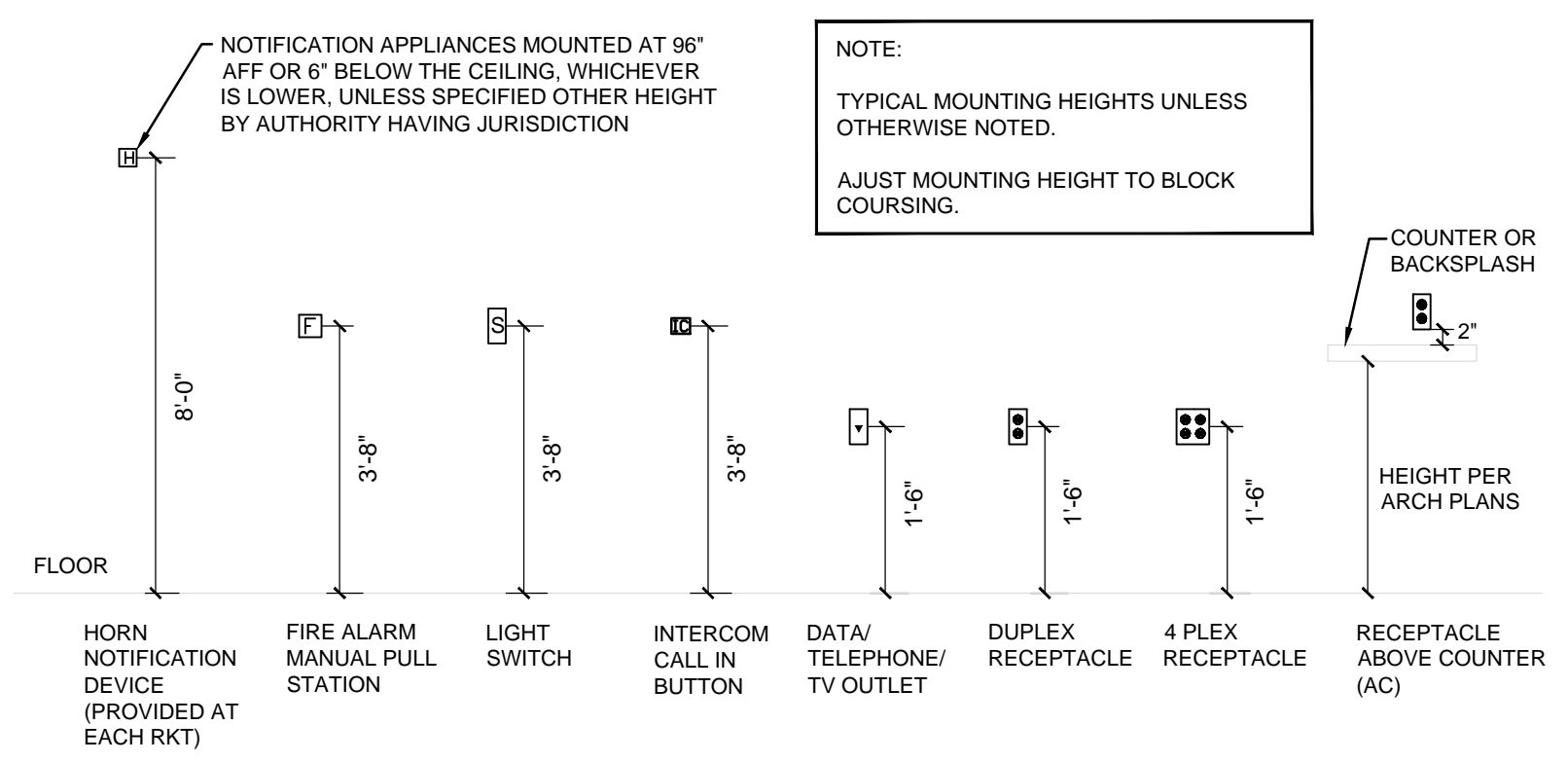
RATED GYPSUM WALL BOARD ASSEMBLY		
PENETRANT	MAX PIPE DIA. (IN.)	ANNULUS (IN.)
	MIN	MAX
① STEEL PIPE	6	1/8 1/4
② STEEL CONDUIT	6	1/8 1/4
③ IRON PIPE	4	1/8 1/4
	4	1/8 1/4
COPPER TUBING	4	1/8 3/8

④ 5/16" SPECIAL PENETRO SILICONE SEALANT INSTALLED TO 1/4" DEPTH WITHIN THE ANNULUS. ADDITIONAL MATERIAL SHALL BE APPLIED TO FORM A 1/4" CROWN LAPPING 1/2" BEYOND THE PERIPHERY OF THE PENETRATION.

⑤ MINERAL WOOL BATT, NORMAL 4 PCF, PACKED INTO ANNULUS TO 1" THICKNESS TO RETAIN FILL MATERIAL.



2 WALL PENETRATION DETAIL
SCALE: NTS



1 TYPICAL MOUNTING DETAIL
SCALE: NTS

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